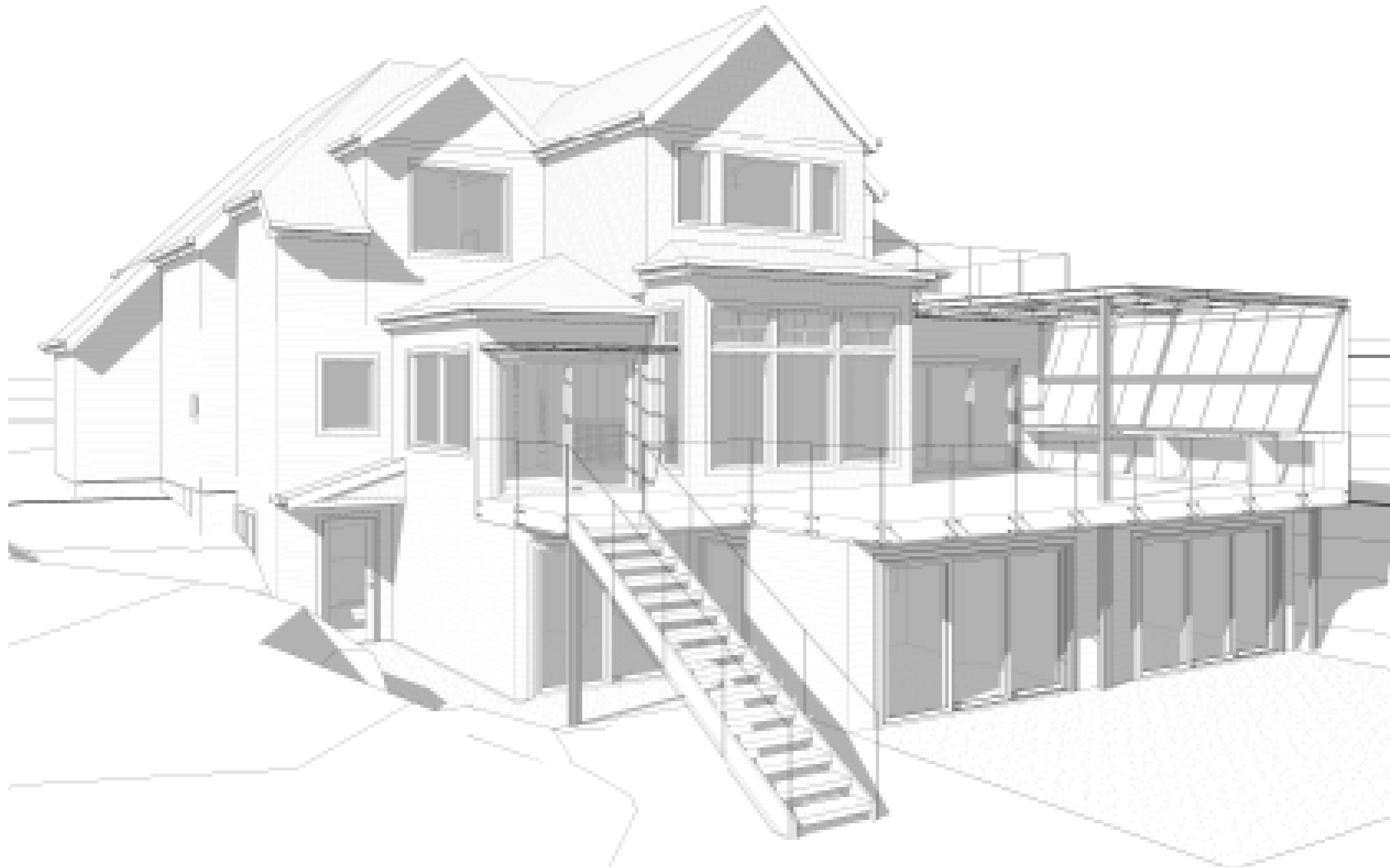


# 9820 SE 35TH PLACE MERCER ISLAND, WA. 98040



NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

NO EXCAVATION BEYOND FOUNDATIONS CALL 48 HOURS BEFORE YOU DIG 811 OR 1-800-424-5555

## R9.6 BUILDING ZONE REQUIREMENTS

LOT COVERAGE: ALLOWED - 40%  
 HARDSCAPE COVERAGE: ALLOWED 9% + BORROWED AREA  
 GROSS FLOOR AREA: ALLOWED 8,000 SQ. FT.  
 A.B.E. AND MAX HEIGHT: NEW ADDITION AREA  
 A.B.E. AND MAX HEIGHT: NEW DETACHED GARAGE  
 ALLOWED STRUCTURAL DISTURBANCE: 40%

SEE SHEET A0.1  
 SEE SHEET A0.1  
 SEE SHEET A0.1  
 SEE SHEET A0.2  
 SEE SHEET A0.2  
 SEE SHEET A0.2

## CODE INFORMATION

ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE FOLLOWING APPLICABLE CODES USED IN THIS DESIGN FOR CITY OF MERCER ISLAND  
 2015 INTERNATIONAL BUILDING CODE (IBC)  
 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)  
 2015 INTERNATIONAL MECHANICAL CODE (IMC)  
 2015 INTERNATIONAL FUEL GAS CODE (IFGC)  
 2015 INTERNATIONAL FIRE CODE (IFC)  
 WASHINGTON STATE ENERGY CODE, WAC 51-11 (WSEC)  
 2015 UNIFORM PLUMBING CODE (UPC)  
 2014 NATIONAL ELECTRIC CODE (NEC)  
 2015 NATIONAL FUEL GAS CODE (NFPA 54, WAC)

## BUILDING CLASSIFICATION

A. OCCUPANCY CLASSIFICATION: SINGLE FAMILY RESIDENCE  
 B. TYPE OF CONSTRUCTION:  
 1. AUTOMATIC SPRINKLERS PROVIDED YES X NO  
 SPRINKLER SYSTEM TO BE A FLOW THRU SYSTEM

THIS HOUSE HAS A FIRE ALARM SYSTEM INSTALLED.

## ENERGY CODE COMPLIANCE

GENERAL PRESCRIPTIVE METHOD:  
 SEE SHEETS A0.2, A0.3 & A5.0  
 ENERGY CREDITS PER TABLE 406.2.1:  
 ADDITION TO EXISTING BUILDING GREATER THAN 500sf < 1500sf

OPTION 5c EFFICIENT WATER HEATING  
 - GAS WATER HEATER, MIN. EF 0.91 1.5 CREDITS

TOTAL CREDITS REQUIRED SMALL DU: 1.5 CREDITS  
 TOTAL CREDITS PROPOSED: 1.5 CREDITS

## ZONING & CODE INFORMATION

JURISDICTION: CITY OF MERCER ISLAND  
 ZONING: R9.6  
 PARCEL ASSESSOR'S #: 082405-9027

## LEGAL DESCRIPTION:

LOT 1 TGW SH LIDS ADJ MERCER ISLAND SHORT PLAT NO 82-11-26 REC NO 8303109004 - LESS POR THOF LY NLY AND WLY OF FOLG DESC LN -- COMM AT NW COR OF SD LOT 1 TH S 88-49-28 E ALG NOTRH LAN THOF A DIST OF 82.40 FT TO TPOB OF HEREIN DESC LN TH S 01-10-32 W 4.54 FT TH S 64-49-53 W 9.36 FT TH N 88-49-28 W 21.64 FT TH S 64-21-02 W 8.31 FT TH S 51-11-48 W 14.70 FT TH N 88-49-28 W 33.69 FT TO WEST LN OF SD LOT 1 AND THE TERMINUS OF HEREIN DESC LN AKA "LOT 1" OF MERCER ISLAND LOT LINE ADJUSTMENT NO SUB01-009 REC NO 20021125900027 LY IN STR 08-24-05

OCCUPANCY: SINGLE FAMILY

## SETBACKS AT REMODEL / ADDITION:

REMODEL CHANGES ARE LESS THAN 40% OF THE EXTERIOR (SEE CALCULATION SHT) REFER TO PREVIOUS PERMIT #9908-047 APPROVED SITE PLAN 9-10-99 PER PRE-APPLICATION PERMIT #PRE20-038 EXISTING SETBACKS ARE VESTED

## NEW CONSTRUCTION:

2 CAR DETACHED GARAGE-  
 FRONT YARD: 20'-0"  
 SIDE YARD: 10'-0"

PARKING REQUIRED: 2.0 PER DWELLING UNIT

PARKING PROVIDED: 2.0 IN ATTACHED GARAGE  
 2.0 IN NEW DETACHED GARAGE

PROJECT DESCRIPTION: ADDITION AND REMODEL TO SINGLE FAMILY RESIDENCE + DETACHED 2 CAR GARAGE

## PROJECT CONTACT INFORMATION

OWNER: MARY & ACHIH CHEN  
 9820 SE 35TH PLACE  
 MERCER ISLAND, WA. 98040  
 P: 706-726-3333  
 E: maryrchen@yahoo.com

CONTRACTOR: T.B.D.

ARCHITECT: MEDICI ARCHITECTS  
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 E: priscilla@mediciarchitects.com

STRUCTURAL ENGINEER: FOSSATTI PAWLAK STRUCTURAL ENGINEERS  
 PETE PAWLAK  
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 E: ppawlak@fossatti.com

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 E: duffy@cesolutions.us

ARBORIST: OLYMPIC NURSERY, INC.  
 TOM QUIGLEY  
 ISA CERTIFIED ARBORIST PN0655A  
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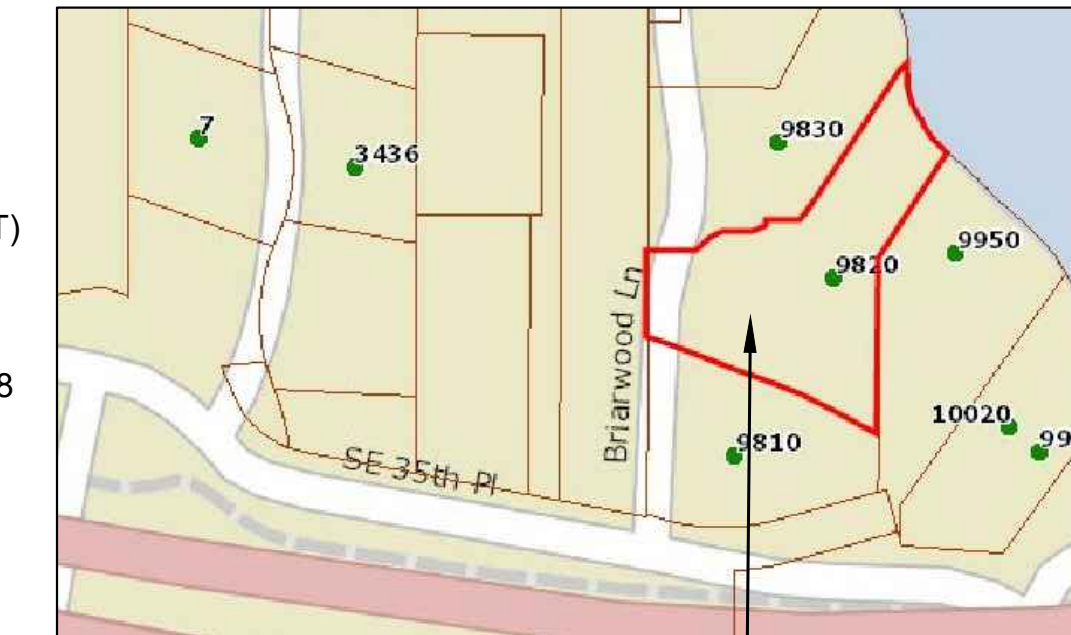
SURVEYOR: INFORMED LAND SURVEY  
 EVAN WAHLSTROM  
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 TACOMA, WA. 98415  
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 E: ewahlstrom@landsurvey.com

GEOTECHNICAL ENGINEER: GEO GROUP NW  
 ADAM GASTON  
 13705 BEL-RED ROAD  
 BELLEVUE, WA. 98005  
 P: 425-649-8757  
 E: agaston@geogroupnw.com



## VICINITY MAP

NTS PROJECT LOCATION



## QT. SECT. MAP

NTS PROJECT LOCATION

## DRAWING SHEET INDEX

| CITY OF MERCER ISLAND COVER SHEET |                                   |
|-----------------------------------|-----------------------------------|
| A0.0                              | TITLE SHEET                       |
| A0.1.0                            | SITE PLAN                         |
| A0.2                              | SITE PLAN CALCULATIONS            |
| A0.3                              | GENERAL NOTES                     |
| A0.4                              | SCHEDULES                         |
| D1.0-D1.3                         | DEMOLITION PLANS                  |
| A1.0                              | FOUNDATION PLAN                   |
| A1.1                              | BASEMENT PLAN                     |
| A2.0                              | 1ST FLOOR CONSTRUCTION PLAN       |
| A2.1                              | 2ND FLOOR CONSTRUCTION PLAN       |
| A3.0                              | ROOF PLAN                         |
| A4.0-A4.1                         | ELEVATIONS                        |
| A5.0                              | SECTIONS                          |
| A6.0                              | DETAILS                           |
| A7.0                              | DETACHED GARAGE FLOOR & ROOF PLAN |
| A7.1                              | DETACHED GARAGE ELEVATIONS        |

## STRUCTURAL SHEET INDEX

|      |                        |
|------|------------------------|
| S2.1 | FOUNDATION PLAN        |
| S2.2 | 1ST FLOOR FRAMING PLAN |
| S2.3 | 2ND FLOOR FRAMING PLAN |
| S2.4 | ROOF FRAMING PLAN      |
| S3.1 | CONCRETE DETAILS       |
| S4.1 | SECTIONS               |
| S4.2 | SECTIONS               |

## CIVIL SHEET INDEX

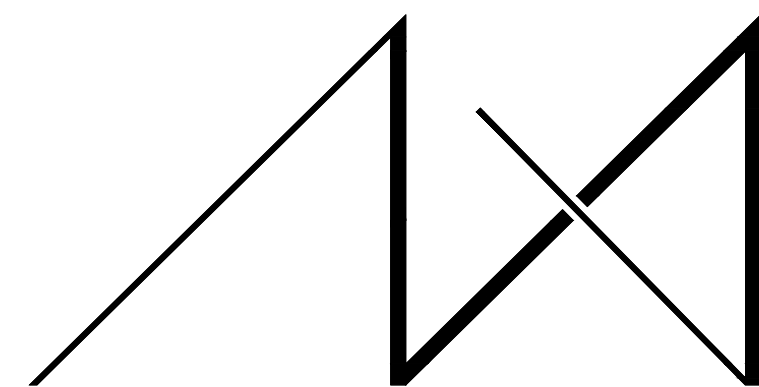
|      |                       |
|------|-----------------------|
| C1.0 | EROSION CONTROL PLAN  |
|      | TREE RETENTION PLAN   |
| C1.2 | TESC & CITY NOTES     |
|      | TESC DETAILS          |
| C2.0 | DRAINAGE / CIVIL PLAN |
| C3.5 | BMP DETAILS           |

## SURVEY:

TOPOGRAPHIC SURVEY INCLUDED

## DEFERRED SUBMITTAL:

THE FOLLOWING ITEMS ARE CONSIDERED TO BE A DEFERRED SUBMITTAL UNDER SECTION 107.3.4.1 OF THE IBC AND MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW. THESE ITEMS WILL THEN BE FORWARDED TO THE BUILDING OFFICIAL FOR APPROVAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. \*PRE-ENGINEERED INTERIOR STEEL STAIRS, HANDRAILS, BALCONY GUARDS, EXTERIOR STEEL STAIRS, STEEL FRAME CANOPY. ELECTRICAL, MECHANICAL AND PLUMBING.



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 BELLEVUE, WA 98005  
 TEL: (425) 453-9298

## REGISTRATION:



INTAKE: DATE:

REVISIONS: DATE:

- 
- 
- 
- 
- 

## PROJECT / CLIENT:

### 9820 SE 35TH PLACE

ACHIN & MARY CHEN  
 9820 SE 35TH PLACE  
 MERCER ISLAND, WA 98040

## JOB ADDRESS:

9820 SE 35TH PLACE  
 MERCER ISLAND, WA 98040  
**PARCEL # 082405-9027**

DRAWING NAME:

## TITLE SHEET

Drawn By: JMG, RB  
 Checked By: EB  
 Owner Approval:

PHASE:

## CONSTRUCTION DOCUMENTS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007  
 DATE: 12-22-2020

PLOT SCALE: 1:1

A0.0

# 9820 SE 35TH PLACE, MERCER ISLAND, WA. 98040

## TREE PROTECTION GUIDELINES

All remaining trees are to have a tree protection zone (TPZ) established before commencement of any construction or delivery activities. The following guidelines are to be observed and practiced during all construction activities.

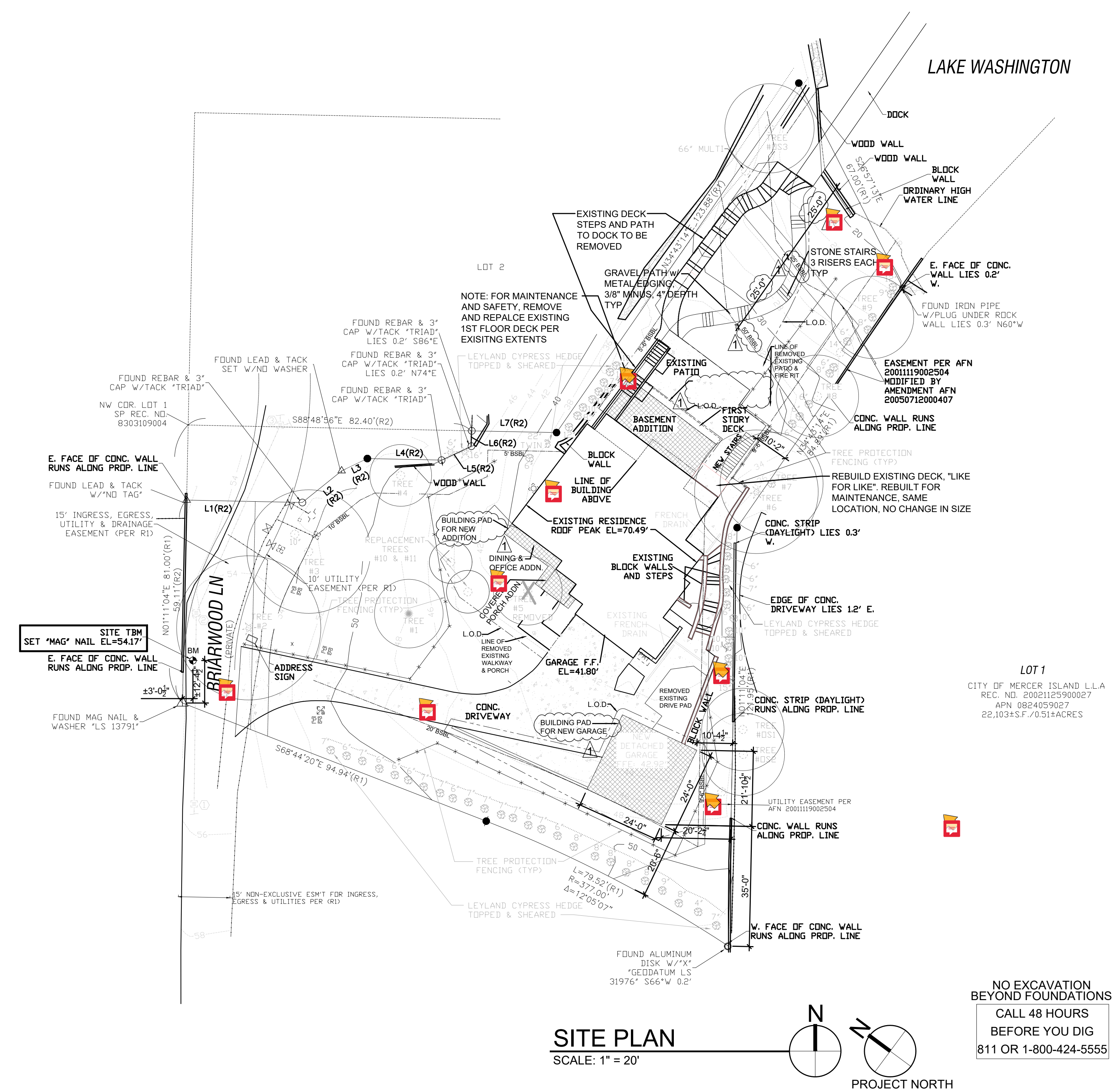
- Access is to be restricted into TPZ's with readily visible temporary tree fencing along the LOD which completely surrounds the protected areas of retained trees. Fences shall be constructed of chain link and be at least 4 ft tall, constructed using pier block, and major roots should be avoided while staking.
- Highly visible signs spaced no further than 15 feet shall be placed along sides of the TPZ fencing.
- Construction materials or supplies, soil, debris, vehicles, and equipment are not to be parked or stored within TPZ.
- TPZ fences must be inspected prior to the beginning of any construction activities.
- Assess crew and contractor penalties, if necessary, to keep the TPZ's intact.
- Check the integrity of TPZ fences weekly, and repair or replace as needed.
- Wood chips should be used if possible to spread above root zones within the TPZ's to a depth of 6-8 inches for temporary protection.
- Cement trucks must not deposit waste or rinse out trucks in the TPZ.
- Avoid grade changes or trenching within or near the TPZ. If it is unavoidable, then follow the guidelines below.
- TPZ's may only be moved or accessed with permission from City Officials, and any work done within TPZ's must be done with a certified arborist present.
- If roots need to be pruned, they should be cut with pruning saws, made flush with the side of the trench.
- Trees should be watered twice a week if construction is to take place during hot summer months.

If excavation occurs within the driplines of trees scheduled for retention, the following procedures must be followed to protect them:

- The contractor shall verify the vertical and horizontal location of existing utilities to avoid conflicts and maintain minimum clearances; adjustment shall be made to the grade of the new utility as required.
- The inner root zone shall not be disturbed or cut (inner root zone = half the drip line radius).
- ISA Certified arborist must work with equipment operators during trenching/ excavation. The Arborist should have a shovel, hand pruners, loppers, handsaw, and a sawsall.
- If roots one inch or larger are damaged by equipment, the Arborist shall stop the equipment and have the dirt excavated by hand until the root can be cleanly cut. A clean straight cut shall be made to remove the damaged portion of root, and if possible the roots should be covered in moist burlap until recovered with dirt the same day.
- Boring or tunneling under roots of existing trees is a viable alternative to trenching through roots. It shall be performed under the supervision of an ISA Certified Arborist, and no roots 1 inch in diameter or larger shall be cut.
- The grade shall not be elevated or reduced within the critical root zone of trees to be preserved without the Planning Official's authorization based on recommendations from a qualified professional. The Planning Official may allow coverage of up to one half of the area of the tree's critical root zone with light soils (no clay) to the minimum depth necessary to carry out grading or landscaping plans, if it will not imperil the survival of the tree. Aeration devices may be required to ensure the tree's survival.

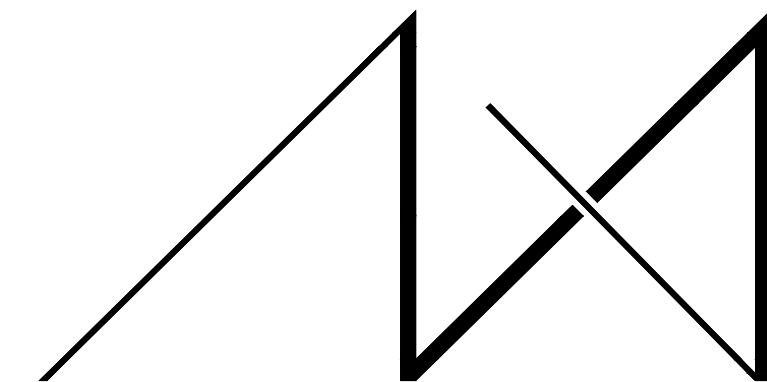
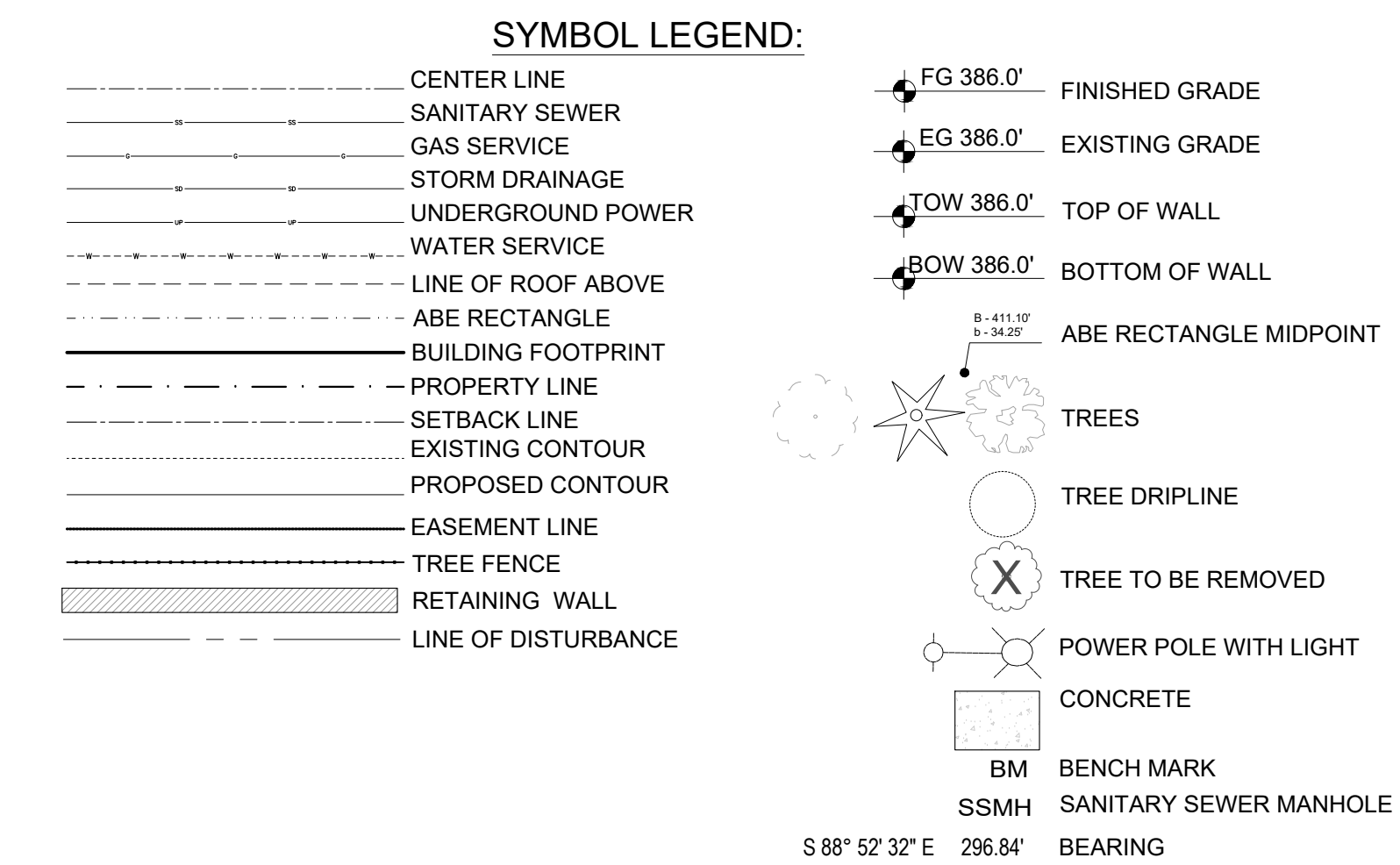
| TREE RETENTION/ PROVISION CALCULATION   |  |                     |        |         |        |
|---|--|---------------------|--------|---------|--------|
| EXISTING ON-SITE TREES  |  | RETAIN              | REMOVE | DBH     | CREDIT |
| TREE #1   | FLOWERING CHERRY                           | X                   |        | 12"     | 2      |
| TREE #2   | Cedrus Atlantica, Atlas Cedar              | X                   |        | 29.5"   | 10     |
| TREE #3   | Quercus, Pin Oak                           | X                   |        | 24.8"   | 8      |
| TREE #4   | Acer palmatum, Japanese Maple              | X                   |        | 12.5"   | 2      |
| TREE #5   | Acer palmatum, Japanese Maple              |                     | X      | 11.0"   | 1      |
| TREE #6   | Cedrus Atlantica, Atlas Cedar              | X                   |        | 26.0"   | 9      |
| TREE #7   | Acer Macrophyllum, Big Leaf Maple          | X                   |        | 17.4"   | 4      |
| TREE #8   | Fraxinus, Ash                              | X                   |        | 21.0"   | 6      |
| TREE #9   | Fraxinus, Ash                              | X                   |        | 14.0"   | 3      |
| <b>NEW TREES TO REPLACE REMOVED</b>   |  |                     |        |         |        |
| TREE #10  | Ametanchier Ainfolia, Western Serviceberry | X (NEW REPLACEMENT) |        | 2"      |        |
| TREE #11  | Ametanchier Ainfolia, Western Serviceberry | X (NEW REPLACEMENT) |        | 2"      |        |
| <b>EXISTING OFF-SITE TREES w/ OVERHANGING LIMBS</b>                                       |  |                     |        |         |        |
| TREE # OS 1   | Cupressocyparis Leylandii, Layland         | X                   |        | est 18" |        |
| TREE # OS 2   | Cupressocyparis Leylandii, Layland         | X                   |        | est 21" |        |
| TREE # OS 3   | Populus Nigra, Black Cottonwood            | X                   |        | est 44" |        |
| <b>TOTAL CREDITS PROPOSED</b>   |  |                     |        |         | 45     |
| <b>LOT SIZE</b>   |  |                     |        | 0.50    | ACRES  |
| <b>TREES PER ACRE</b>   | PER KZC 95.33                              |                     |        | 30.0    |        |
| <b>TOTAL CREDITS REQUIRED</b>   |  |                     |        |         | 15.0   |
| SUPPLEMENTAL TREES TO MEET MINIMUM SIZE WORTH ONE TREE CREDIT AS OUTLINED IN KZC 95.33(4) |  |                     |        |         |        |

| LOT COVERAGE                                  |        |    |
|---|--------|----|
| LOT SIZE                                      | 21,700 | SF |
| LOT COVERAGE ZONE % - RS 9.6 <15% SLOPE - 40% | 8,680  | SF |
| EXISTING LOT COVERAGE                         |        |    |
| MAIN STRUCTURE ROOF AREA                      | 2,374  | SF |
| VEHICULAR USE                                 | 2,759  | SF |
| TOTAL EXISTING LOT COVERAGE                   | 5,133  | SF |
| NEW LOT COVERAGE                              |        |    |
| EXISTING LOT COVERAGE REMOVED                 | (539)  | SF |
| MAIN STRUCTURE ROOF AREA                      | 170    | SF |
| ACCESSORY STRUCTURE ROOF AREA                 | 608    | SF |
| VEHICULAR USE                                 | 232    | SF |
| COVERED PATIOS/DECKS                          | 52     | SF |
| NEW LOT COVERAGE                              | 1,062  | SF |
| TOTAL LOT COVERAGE AREA                       | 6,734  | SF |
| %   | 26.07% |    |
| HARDSCAPE COVERAGE                            |        |    |
| LOT SIZE                                      | 21,700 | SF |
| BORROWED FROM LOT COVERAGE                    | 3,024  | SF |
| HARDSCAPE AREA ALLOWED = 9%+ BORROWED AREA    | 4,977  | SF |
| % HARDSCAPE AREA ALLOWED                      | 22.94% |    |
| EXISTING HARDSCAPE COVERAGE                   |        |    |
| UNCOVERED DECKS                               | 468    | SF |
| UNCOVERED PATIOS                              | 1,007  | SF |
| WALKWAYS                                      | 260    | SF |
| STAIRS  | 451    | SF |
| ROCKERIES/RETAINING WALLS                     | 181    | SF |
| HARDSCAPE COVERAGE                            | 2,367  | SF |
| HARDSCAPE AREAS REMOVED                       | 728    | SF |
| NEW HARDSCAPE COVERAGE                        |        |    |
| UNCOVERED DECKS                               | -      | SF |
| UNCOVERED PATIOS                              | 32     | SF |
| DOCK PATH                                     | 233    | SF |
| STAIRS  | 49     | SF |
| TOTAL NEW HARDSCAPE COVERAGE                  | 314    |    |
| TOTAL HARDSCAPE AREA                          | 1,953  | SF |
| TOTAL HARDSCAPE %                             | 9.00%  |    |
| GROSS LOT COVERAGE %                          | 35.07% |    |
| GROSS LOT COVERAGE CHANGE                     |        |    |
| EXISTING LOT COVERAGE                         | 5133   | SF |
| EXISTING HARDSCAPE COVERAGE                   | 2367   | SF |
| TOTAL EXISTING GROSS COVERAGE                 | 7500   | SF |
| REMOVED EXIST. LOT COVERAGE                   | 539    | SF |
| REMOVED EXIST. HARDSCAPE                      | 728    | SF |
| TOTAL REMOVED COVERAGE                        | 1267   | SF |
| NEW LOT COVERAGE                              | 1062   | SF |
| NEW HARDSCAPE COVERAGE                        | 314    | SF |
| TOTAL NEW COVERAGE                            | 1376   | SF |
| NET GROSS COVERAGE CHANGED                    | 109    | SF |



| GROSS FLOOR AREA CALCULATION ZONE R9.6 (FROM OUTSIDE PERIMETER OF THE EXTERIOR WALLS) |             |                                      |                                     |        |
|---|-------------|--------------------------------------|-------------------------------------|--------|
| FLOOR   | EXIST. AREA | REMOVED AREA                         | NEW/ADD AREA                        | TOTAL  |
| UPPER FLOOR   | 1,430       |                                      | 100                                 | 1,530  |
| MAIN FLOOR  | 1,677       |                                      | 67                                  | 1,744  |
| GROSS BASEMENT AREA   | 1,290       | 681                                  | 380                                 | 989    |
| GARAGE  | 505         |                                      |                                     | 505    |
| STAIR CASE GFA MODIFIER   |             |                                      | 92                                  | 92     |
| TOTAL BUILDING AREA   | 4,902       | 681                                  | 639                                 | 4,860  |
| ACCESSORY BUILDING  |             |                                      | 576                                 | 576    |
| <b>LOT AREA</b>   | <b>ZONE</b> | <b>ALLOWED GROSS FLOOR AREA (SF)</b> | <b>ALLOWED GROSS FLOOR AREA (%)</b> |        |
| 21,700  | R9.6        | 8,000                                | 36.87%                              |        |
| PROPOSED GROSS FLOOR AREA SQUARE FOOTAGE:   |             |                                      |                                     | 5,436  |
| PROPOSED GROSS FLOOR AREA PERCENTAGE:   |             |                                      |                                     | 25.05% |

| FIRE AREA CALCULATION (FROM INSIDE PERIMETER OF THE EXTERIOR WALLS) |  |          |
|---|--|----------|
| AREA  |  | SQ. FTG. |
| BASEMENT  |  | 1,623    |
| 1st FLOOR   |  | 1,663    |
| 2nd FLOOR   |  | 1,756    |
| ATTACHED GRAGE  |  | 486      |
| COVERED PORCH   |  | 64       |
| COVERED DECKS   |  | 363      |
| COVERED PATIO   |  | 126      |
| TOTAL FIRE SF:  |  | 6,081    |



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INTAKE: DATE:

REVISIONS: DATE:  
1. Robin Proebsting comments 12-04-20  
2.  
3.  
4.  
5.

PROJECT / CLIENT:  
**9820 SE 35TH PLACE**  
ACHIN & MARY CHEN  
9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040

JOB ADDRESS:  
9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040  
PARCEL # 082405-9027

DRAWING NAME:

SITE PLAN

Drawn By: JMG, RB  
Checked By: EB  
Owner Approval:

PHASE:  
CONSTRUCTION DOCUMENTS

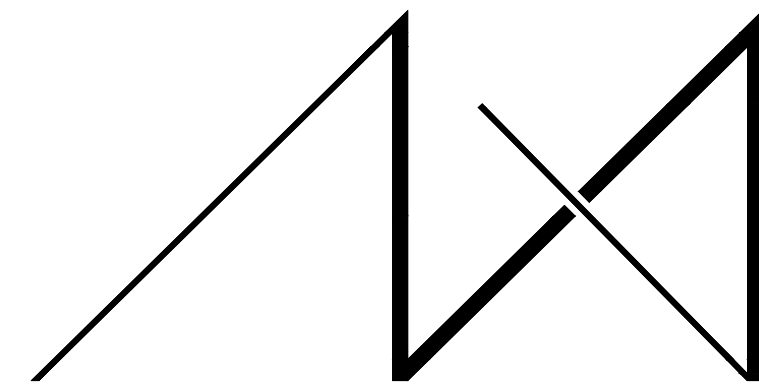
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APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007  
DATE: 12-22-2020

PLOT SCALE: 1:1

A0.1



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- 1.
- 2.
- 3.
- 4.
- 5.

PROJECT / CLIENT:

**9820 SE 35TH PLACE**

ACHIN & MARY CHEN  
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MERCER ISLAND, WA 98040

JOB ADDRESS:

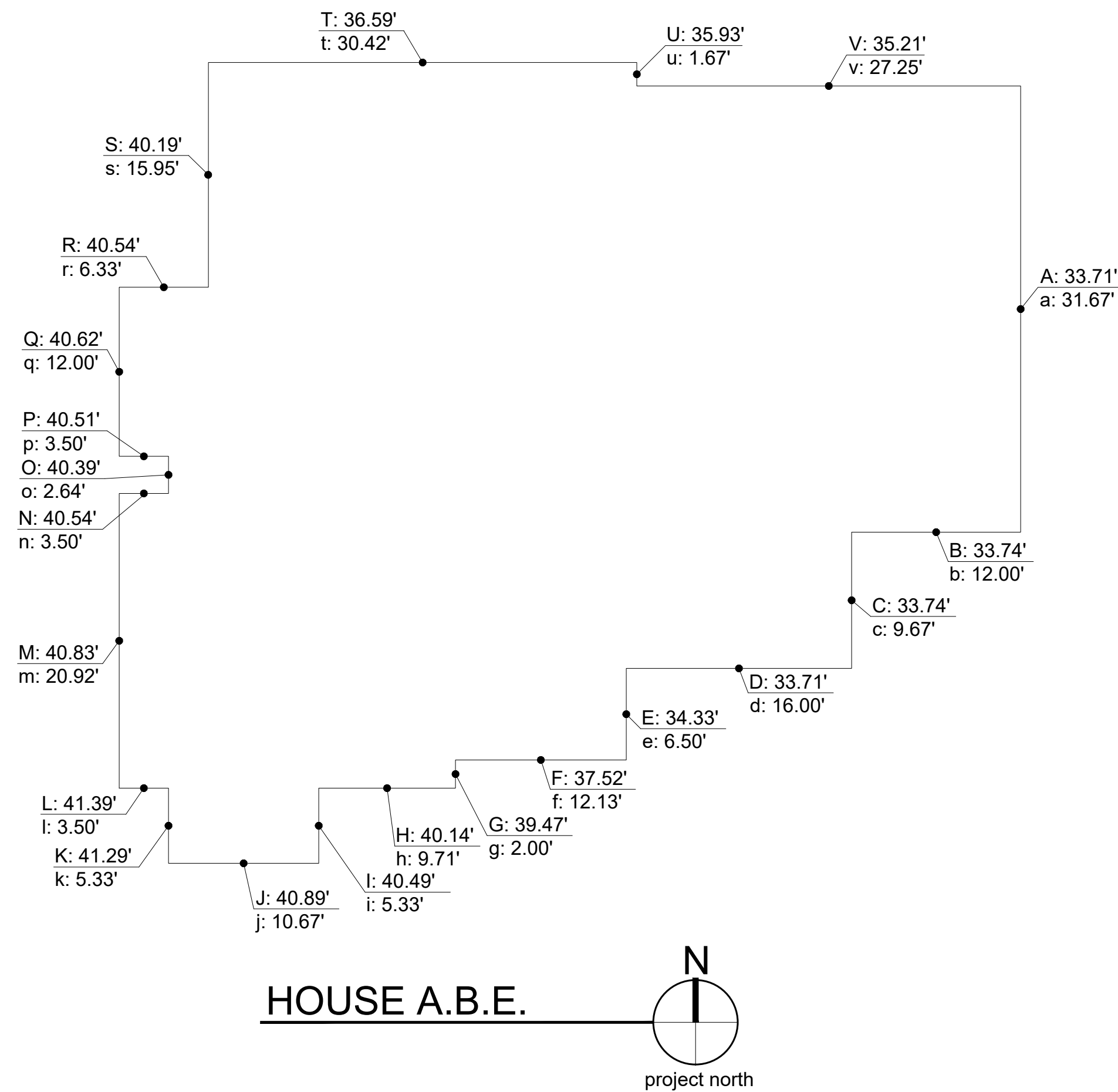
9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040  
**PARCEL # 082405-9027**

| A.B.E. CALC MAIN HOUSE |       |             |        |          |
|------------------------|-------|-------------|--------|----------|
| MIDPOINT ELEVATION     | *     | WALL LENGTH | =      |          |
| A                      | 33.71 | a           | 31.67  | 1,067.60 |
| B                      | 33.74 | b           | 12.00  | 404.88   |
| C                      | 33.74 | c           | 9.67   | 326.27   |
| D                      | 33.71 | d           | 16.00  | 539.36   |
| E                      | 34.33 | e           | 6.50   | 223.15   |
| F                      | 37.52 | f           | 12.13  | 455.12   |
| G                      | 39.52 | g           | 2.00   | 79.04    |
| H                      | 40.14 | h           | 9.71   | 389.76   |
| I                      | 40.49 | i           | 5.33   | 215.81   |
| J                      | 40.89 | j           | 10.67  | 436.30   |
| K                      | 41.29 | k           | 5.33   | 220.08   |
| L                      | 41.39 | l           | 3.50   | 144.87   |
| M                      | 40.83 | m           | 20.92  | 854.16   |
| N                      | 40.54 | n           | 3.50   | 141.89   |
| O                      | 40.39 | o           | 2.64   | 106.63   |
| P                      | 40.51 | p           | 3.50   | 141.79   |
| Q                      | 40.62 | q           | 12.00  | 487.44   |
| R                      | 40.54 | r           | 6.33   | 256.62   |
| S                      | 40.19 | s           | 15.95  | 641.03   |
| T                      | 36.59 | t           | 30.42  | 1,113.07 |
| U                      | 35.93 | u           | 1.67   | 60.00    |
| V                      | 35.21 | v           | 27.25  | 959.47   |
| <b>TOTAL:</b>          |       |             | 248.69 | 9,264.31 |

AVERAGE BUILDING ELEVATION: 37.25  
MAX HEIGHT ALLOWED + 30.00  
MAX ELEVATION = 67.25

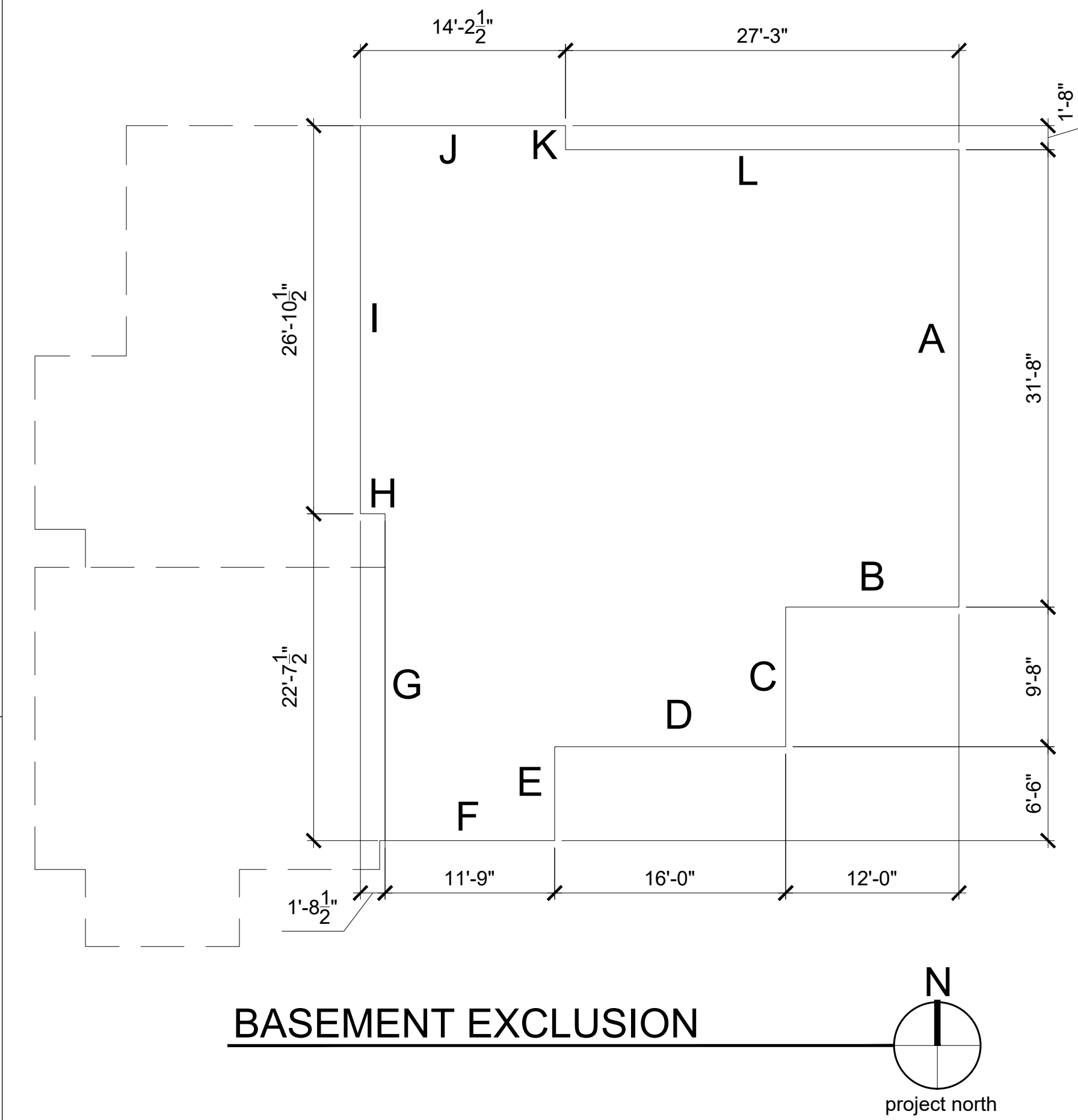
PROPOSED TOP OF ROOF = 66.03

AMOUNT BELOW MAX: = 1.22

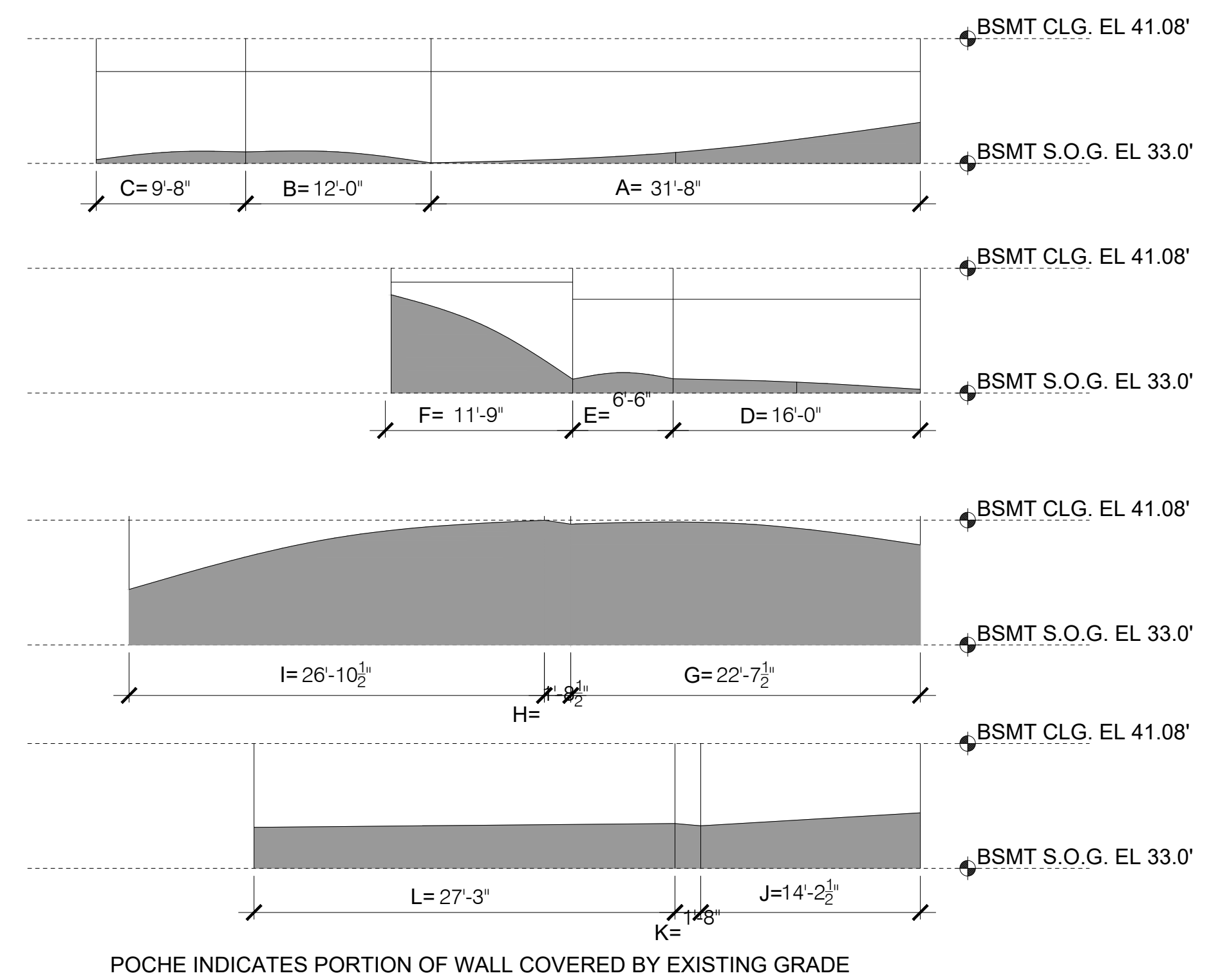


| BASEMENT FLOOR AREA EXCLUSION |        |          |        |
|-------------------------------|--------|----------|--------|
| WALL                          | LENGTH | COVERAGE | RESULT |
| A                             | 31.67  | 9%       | 2.85   |
| B                             | 6.50   | 9%       | 0.59   |
| C                             | 12.13  | 9%       | 1.09   |
| D                             | 23.00  | 9%       | 2.07   |
| E                             | 1.71   | 16%      | 0.27   |
| F                             | 26.88  | 55%      | 14.78  |
| G                             | 14.81  | 97%      | 14.37  |
| H                             | 1.67   | 98%      | 1.64   |
| I                             | 27.63  | 86%      | 23.76  |
| J                             | 31.67  | 39%      | 12.35  |
| K                             | 12.00  | 35%      | 4.20   |
| L                             | 9.67   | 34%      | 3.29   |
| <b>TOTAL:</b>                 | 199.34 |          | 81.26  |

| SQ. FT. | PERCENTAGE | EXCLUDED |
|---------|------------|----------|
| 1,670   | 40.76%     | 681      |



BASEMENT EXCLUSION



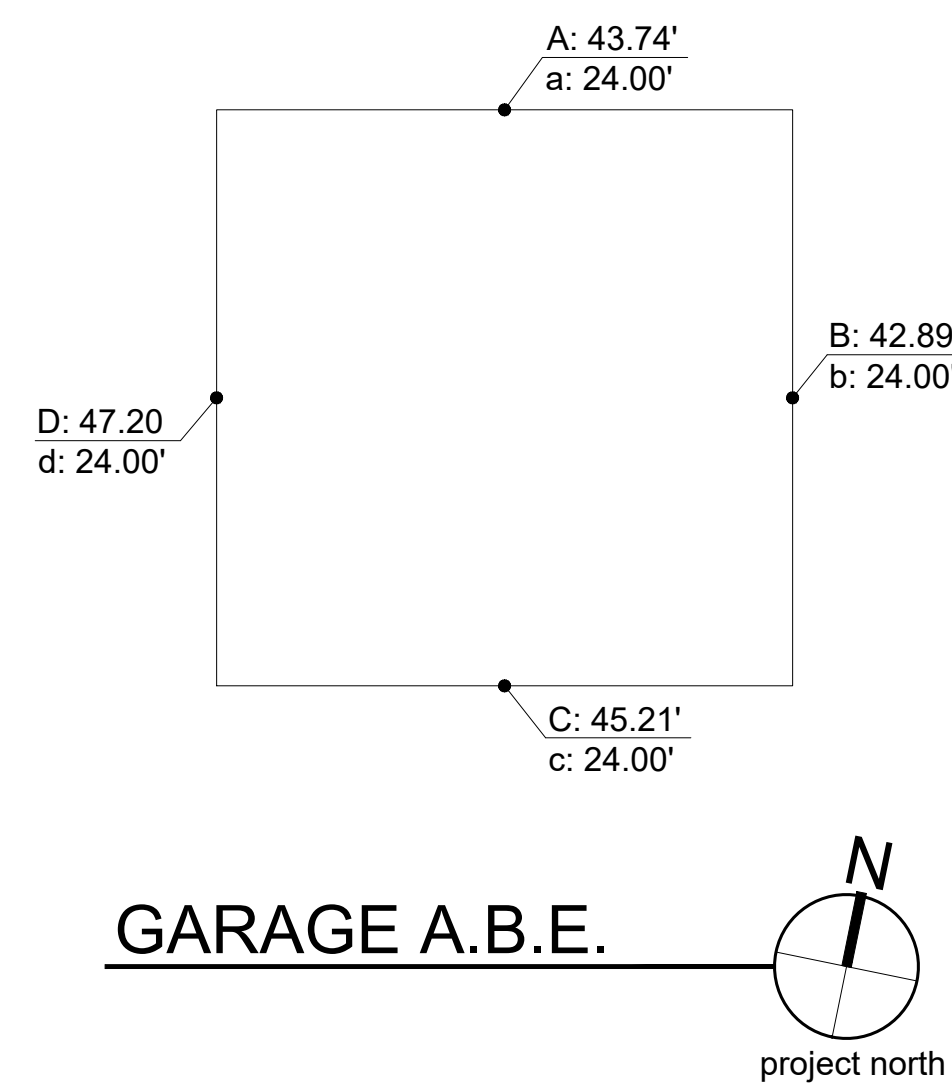
POCHE INDICATES PORTION OF WALL COVERED BY EXISTING GRADE

| A.B.E. CALC DETACHED GARAGE |       |             |       |          |
|-----------------------------|-------|-------------|-------|----------|
| MIDPOINT ELEVATION          | *     | WALL LENGTH | =     |          |
| A                           | 43.74 | a           | 24.00 | 1,049.76 |
| B                           | 42.89 | b           | 24.00 | 1,029.36 |
| C                           | 45.21 | c           | 24.00 | 1,085.04 |
| D                           | 47.20 | d           | 24.00 | 1,132.80 |
| <b>TOTAL</b>                |       | 96.00       |       | 4,296.96 |

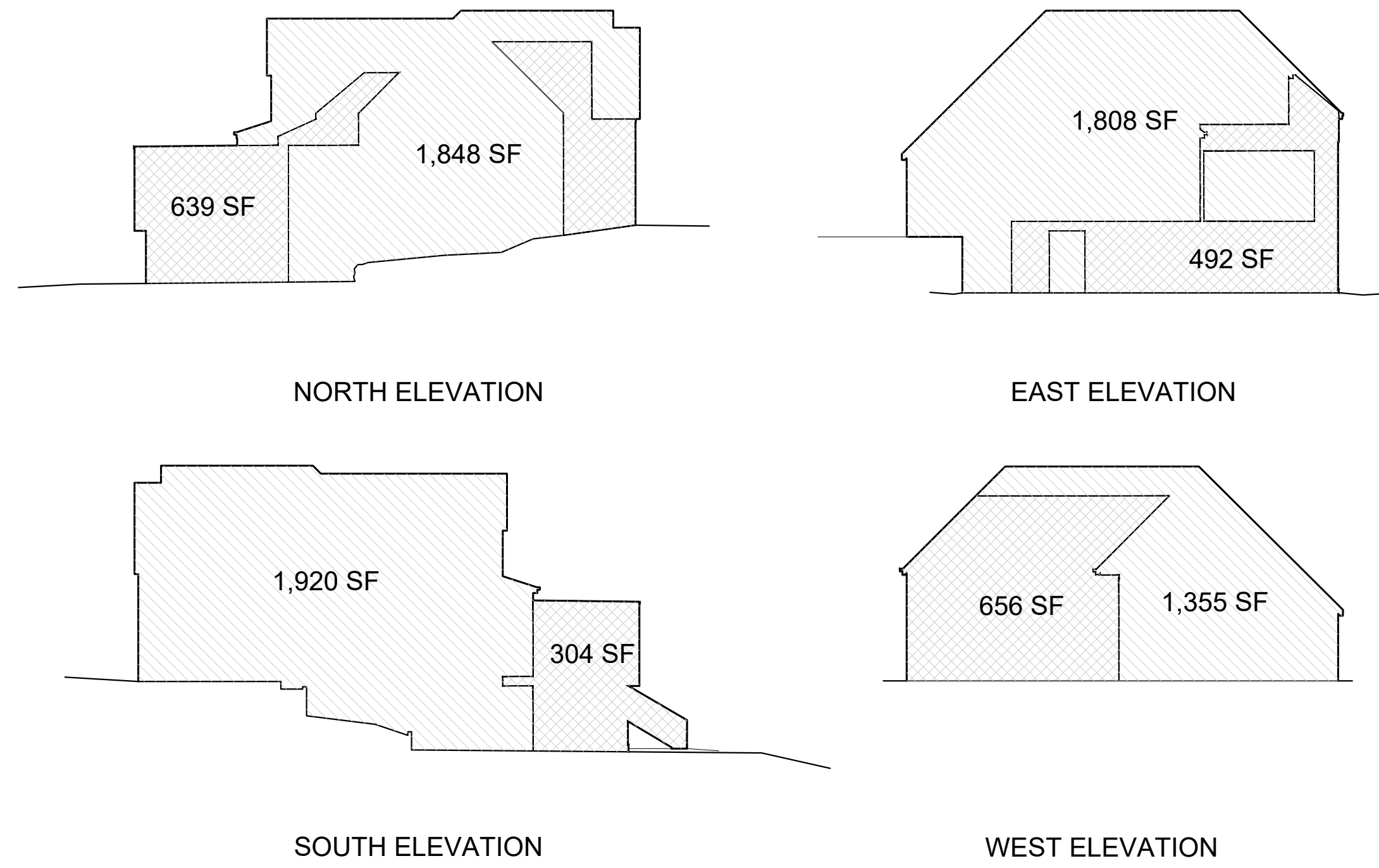
AVERAGE BUILDING ELEVATION: 44.76  
MAX HEIGHT ALLOWED + 17  
MAX ELEVATION = 61.76

PROPOSED TOP OF ROOF = 61.26

AMOUNT BELOW MAX: = 0.50



GARAGE A.B.E.



40% EXTERIOR STRUCTURAL THRESHOLD:  
ALL EXTERIOR SURFACE AREA 6,931 SF X 40%=2,772.4 SF  
NORTH ELEVATION 639.0 SF  
EAST ELEVATION 492.0 SF  
SOUTH ELEVATION 304.0 SF  
WEST ELEVATION 656.0 SF  
ALTERED EXTERIOR AREA 2,091.0 SF < 2,772.4 SF

**STRUCTURAL DISTURBANCE**

DRAWING NAME:

**SITE PLAN CALCULATIONS**

Drawn By: JMG, RB  
Checked By: EB  
Owner Approval:

PHASE:

**CONSTRUCTION DOCUMENTS**

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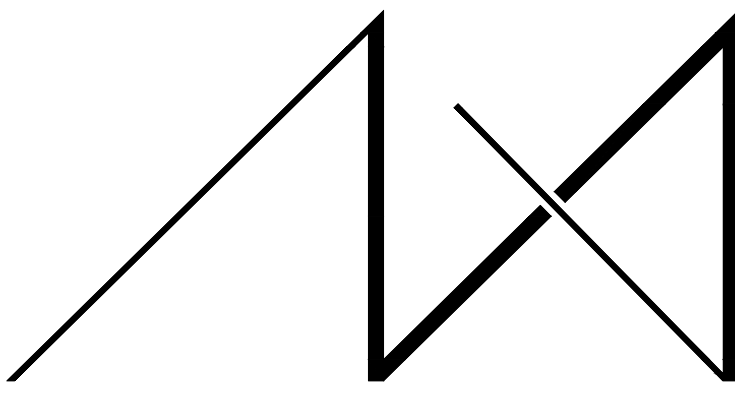
PROJECT No.: 2020 007

DATE: 12-22-2020

PLOT SCALE: 1:1

A0.2





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PROJECT / CLIENT:

**9820 SE 35TH PLACE**  
ACHIN & MARY CHEN  
9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040  
**PARCEL # 082405-9027**

DRAWING NAME:

SCHEDULES

Drawn By: JMG, RB  
Checked By: EB  
Owner Approval:

PHASE:

CONSTRUCTION DOCUMENTS

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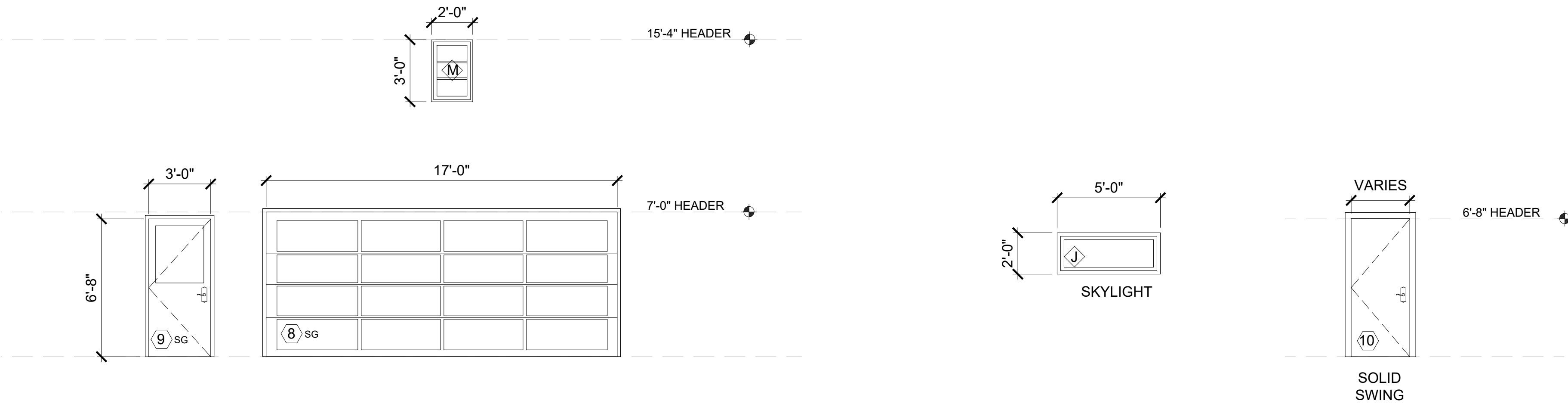
APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007

DATE: 12-22-2020

PLOT SCALE: 1:1

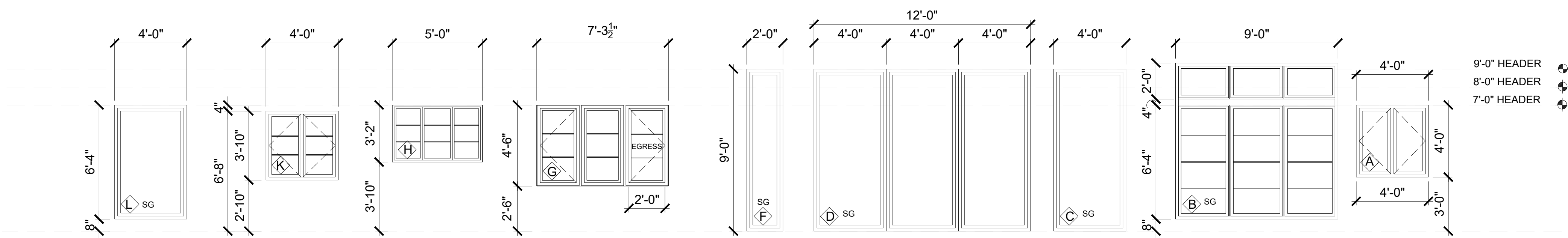
A0.4



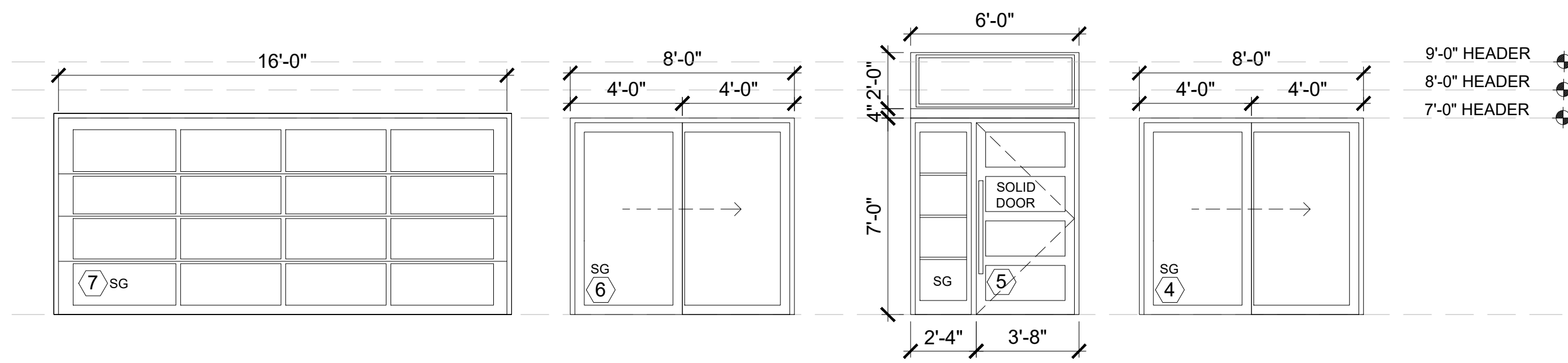
DETACHED GARAGE DOOR AND WINDOWS ELEVATIONS  
SCALE: 1/4" = 1'-0"

SKYLIGHT ELEVATIONS  
SCALE: 1/4" = 1'-0"

INTERIOR DOOR ELEVATIONS  
SCALE: 1/4" = 1'-0"



WINDOW ELEVATIONS  
SCALE: 1/4" = 1'-0"



EXTERIOR DOOR ELEVATIONS  
SCALE: 1/4" = 1'-0"

NOTE:  
DIMENSIONS INDICATE ROUGH OPENINGS.  
MANUFACTURER TO SIZE WINDOWS ACCORDINGLY.  
FIELD MEASURE PRIOR TO ORDERING. VERIFY SIZE REQUIREMENTS FOR EGRESS.

| INTERIOR DOOR SCHEDULE |     |            |       |       |       |             |  |         |  |
|------------------------|-----|------------|-------|-------|-------|-------------|--|---------|--|
| NO                     | Qty | LOCATION   | W     | H     | MANUF | TYPE        | HARDWARE   | REMARKS |  |
| 10                     | 1   | OFFICE     | 2'-8" | 6'-8" | TBD   | SOLID SWING |  |         |  |
|                        |     |            |       |       |       |             | ALL HARDWARE TO BE BRUSHED NICKEL FINISH 2-PAIR OF BUTT HINGES FOR 8'-0" DOORS |         |  |
| 1                      |     | DOOR COUNT |       |       |       |             |  |         |  |

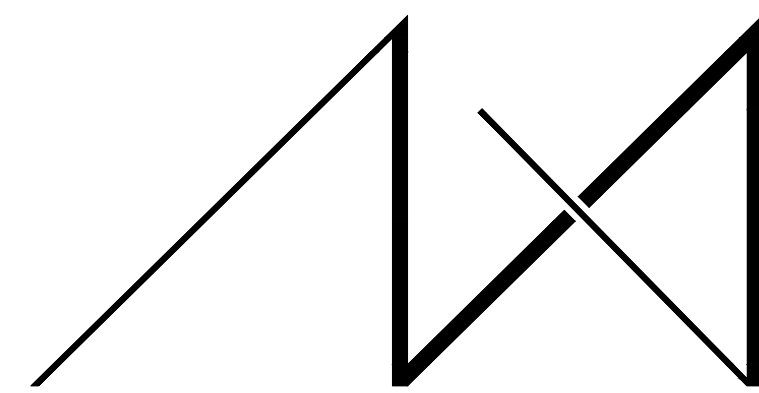
NOTES:  
1. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S DATA ON ALL WINDOWS SHOWING COMPLIANCE WITH THE 2015 WASHINGTON STATE ENERGY CODE.  
2. ALL EXTERIOR TRUE DIVIDED FIXED TRANSOM GLAZING TO BE POSITIONED AT UPPER SASH LOCATION.  
3. VERIFY ALL DOOR TYPES & HARDWARE W/OWNER PRIOR TO ORDERING.  
4. DOOR SEPARATING UN-HEATED FROM HEATED SPACE TO BE U=28 MAX. PER WSEC 2015

| WINDOW SCHEDULE |     |                          |         |        |        |        |       |                |        |          |   |
|-----------------|-----|--------------------------|---------|--------|--------|--------|-------|----------------|--------|----------|---|
| NO              | Qty | LOCATION                 | WIDTH   | HEIGHT | AREA   | MANUF. | U-VAL | TYPE           | SCREEN | HARDWARE | REMARKS                                       |
| A               | 1   | NEW EXERCISE ROOM        | 4'-0"   | 4'-0"  | 16.00  | TBD    | 0.28  | CSMT/CSMT      | Y      | TBD      |   |
| B               | 1   | FORMAL DINING ROOM       | 9'-0"   | 8'-4"  | 74.70  | TBD    | 0.28  | FIXED          | N      | TBD      | TRANSOM,GRIDS                                 |
| C               | 1   | FAMILY ROOM              | 4'-0"   | 9'-0"  | 36.00  | TBD    | 0.28  | FIXED          | N      | TBD      | SAFETY GLASS                                  |
| D               | 1   | FAMILY ROOM              | 12'-0"  | 9'-0"  | 108.00 | TBD    | 0.28  | FIXED          | N      | TBD      | SAFETY GLASS, MULLED                          |
| E               | 1   | EXISTING WINDOWS         |         |        |        |        |       |                |        |          |   |
| F               | 1   | FAMILY ROOM              | 2'-0"   | 9'-0"  | 18.00  | TBD    | 0.28  | FIXED          | N      | TBD      | SAFETY GLASS                                  |
| G               | 1   | BEDROOM 3                | 7'-3.5" | 4'-6"  | 32.85  | TBD    | 0.28  | CSMT/CSMT/CSMT | Y      | TBD      | EGRESS, GRIDS                                 |
| H               | 1   | ABOVE FOYER              | 5'-0"   | 3'-2"  | 15.50  | TBD    | 0.28  | FIXED          | N      | TBD      | GRIDS, SAFETY GLASS                           |
| I               | 1   | NOT USED                 | 0       | 0      | 0.00   |        |       |                |        |          |   |
| J               | 1   | FOYER                    | 2'-0"   | 5'-0"  | 10.00  | TBD    | 0.43  | SKYLIGHT       | N      | TBD      | SKYLIGHT                                      |
| K               | 1   | NEW OFFICE               | 4'-0"   | 3'-10" | 8.34   | TBD    | 0.28  | CSMT/CSMT      | Y      | TBD      | GRIDS   |
| L               | 2   | NEW EXERCISE RM INTERIOR | 4'-0"   | 6'-4"  | 50.40  | TBD    |       | FIXED          | N      | TBD      | STOPPED IN GLASS                              |
| M               | 1   | DETACHED GARAGE WINDOW   | 2'-0"   | 3'-0"  | 6.00   | TBD    |       | FIXED          | N      | TBD      | NON CONDITIONED                               |
|                 |     |                          |         |        | 229.39 |        | 0.28  |                |        | 64.23    |   |
|                 |     |                          |         |        | 10.00  | SF     | 0.43  |                |        | 4.3      | NOTE: SEE A03.8.A.01.1.2 FOR WINDOW DIVISIONS |
| 14              |     | WINDOW COUNT             |         |        |        |        |       | U X A =        | 68.53  |          |   |

NOTES:  
1. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S DATA ON ALL WINDOWS SHOWING COMPLIANCE WITH THE 2015 WASHINGTON STATE ENERGY CODE. CONTRACTOR TO FIELD VERIFY ALL WINDOW AND DOOR SIZES AND EGRESS REQUIREMENTS PRIOR TO ORDERING. VERIFY SWING DIRECTION WITH OWNER.  
2. ALL EXTERIOR TRUE DIVIDED FIXED TRANSOM GLAZING TO BE POSITIONED AT UPPER SASH.  
3. ALL WINDOWS TO BE NFRC CERTIFIED AND LABELED

| EXTERIOR DOOR SCHEDULE |     |                       |        |       |        |       |       |                                      |               |          |   |
|------------------------|-----|-----------------------|--------|-------|--------|-------|-------|--------------------------------------|---------------|----------|---|
| NO                     | Qty | LOCATION              | W      | H     | MANUF. | AREA  | U-VAL | TYPE                                 | CONFIGURATION | HARDWARE | REMARKS   |
| 1                      | 1   | NEW EXERCISE ROOM     | 12'-0" | 7'-0" | TBD    | 84.0  | 0.28  | SLIDING                              | XXO           |          | SAFETY GLASS  |
| 2                      | 1   | NEW SITTING ROOM      | 12'-0" | 7'-0" | TBD    | 84.0  | 0.28  | SLIDING                              | XXO           |          | SAFETY GLASS  |
| 3                      | 0   | NOT USED              | 0      | 0     | TBD    | 0.0   | 0.28  |                                      |               |          |   |
| 4                      | 1   | KITCHEN               | 8'-0"  | 7'-0" | TBD    | 56.0  | 0.28  | SLIDING                              | XO            |          | SAFETY GLASS  |
| 5                      | 1   | FOYER                 | 6'-0"  | 9'-0" | TBD    | 54.0  | 0.28  | SOLID SWING WITH SIDE LITE & TRANSOM |               |          | ALL HARDWARE TO BE BRUSHED NICKEL FINISH 2-PAIR OF BUTT HINGES FOR 6'-8" 8'-0" DOORS SAFETY GLASS           |
| 6                      | 1   | MASTER BEDROOM        | 8'-0"  | 7'-0" | TBD    | 56.0  | 0.28  | SLIDING                              | XO            |          | SAFETY GLASS  |
| 7                      | 1   | GARAGE                | 16'-0" | 7'-0" | TBD    |       |       | OVER HEAD GARAGE DOOR                | X             |          | GARAGE DOOR OPENER. SEE ELEVATION FOR DOOR PATTERN  |
| 8                      | 1   | DETACHED GARAGE       | 17'-0" | 7'-0" | TBD    |       |       | OVER HEAD GARAGE DOOR                | X             |          | GARAGE DOOR OPENER. SEE ELEVATION FOR DOOR PATTERN  |
| 9                      | 1   | DETACHED GARAGE ENTRY | 3'-0"  | 8'-0" | TBD    |       | 0.28  | SOLID SWING                          | X             |          | ALL HARDWARE TO BE BRUSHED NICKEL FINISH 2-PAIR OF BUTT HINGES FOR 6'-8" 8'-0" DOORS 1/2 LIGHT, SAFTY GLASS |
| TOTAL                  |     |                       |        |       | SF     | 334.0 | 0.28  | TOTAL U x A =                        | 93.5          |          |   |

NOTES:  
1. GENERAL CONTRACTOR SHALL PROVIDE MANUFACTURER'S DATA ON ALL WINDOWS SHOWING COMPLIANCE WITH THE 2015 WASHINGTON STATE ENERGY CODE.  
2. ALL EXTERIOR TRUE DIVIDED FIXED TRANSOM GLAZING TO BE POSITIONED AT UPPER SASH LOCATION.  
3. VERIFY ALL DOOR TYPES & HARDWARE W/OWNER PRIOR TO ORDERING.  
4. DOOR SEPARATING UN-HEATED FROM HEATED SPACE TO BE U=28 MAX. PER WSEC 2015  
5. ALL DOOR WITH GLAZING TO BE NFRC CERTIFIED AND LABELED



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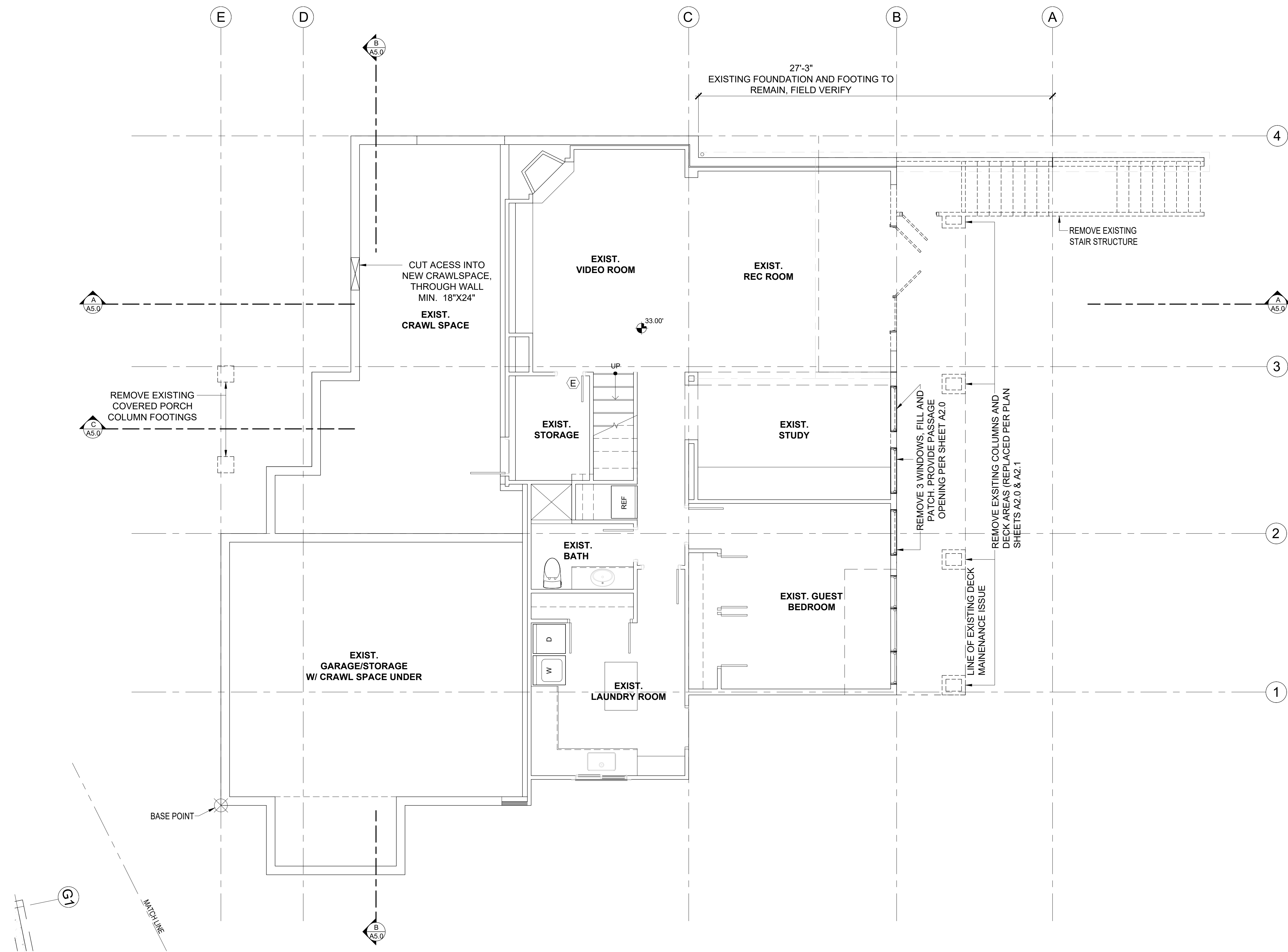
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PROJECT / CLIENT:

**9820 SE 35TH PLACE**  
ACHIN & MARY CHEN  
9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040

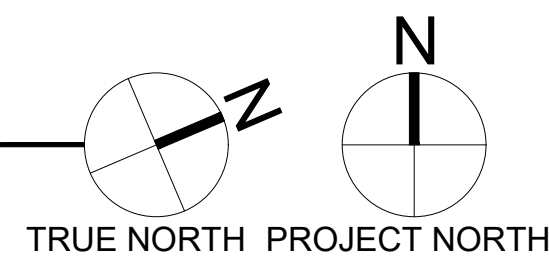
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**PARCEL # 082405-9027**



### BASEMENT PLAN DEMO

SCALE: 1/4" = 1'-0"



### DEMOLITION PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
- REFER TO SITE PLAN FOR ANY SITEWORK TO BE REMOVED.
- RELOCATE EXISTING UTILITIES AS REQUIRED TO ACCOMMODATE NEW ADDITION AND CONSTRUCTION. DISCONNECT OR CAP ANY UTILITIES AS REQUIRED.
- CONTRACTOR TO REMOVE ALL DEMOLITION DEBRIS FROM SITE.
- PROVIDE TEMPORARY SUPPORT WHILE INSERTING NEW BEAMS OR HEADERS.
- CONTRACTOR TO SEAL OFF WORK AREAS TO REDUCE DUST FROM ENTERING OCCUPIED AREAS.
- REMOVE ALL MATERIALS REQUIRED FOR NEW SCOPE OF WORK.
- SEE SHEET A0.3 FOR ADDITIONAL NOTES.

### SYMBOL LEGEND

- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING STRUCTURE TO BE DEMOED

DRAWING NAME:

### DEMOLITION BASEMENT

Drawn By: JMG, RB  
Checked By: EB  
Owner Approval:

PHASE:

### CONSTRUCTION DOCUMENTS

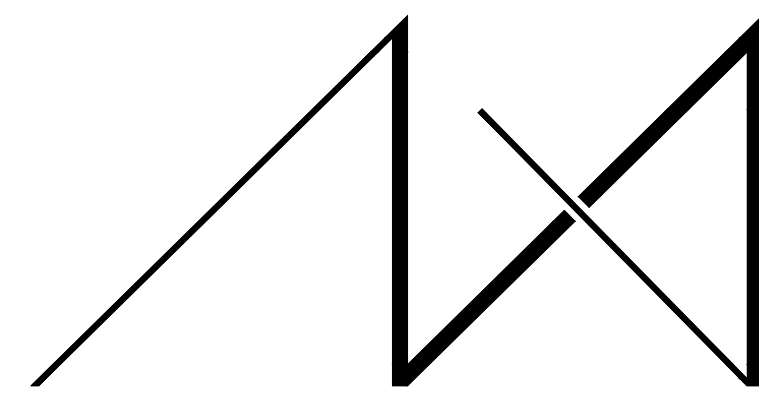
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PLOT SCALE: 1:1

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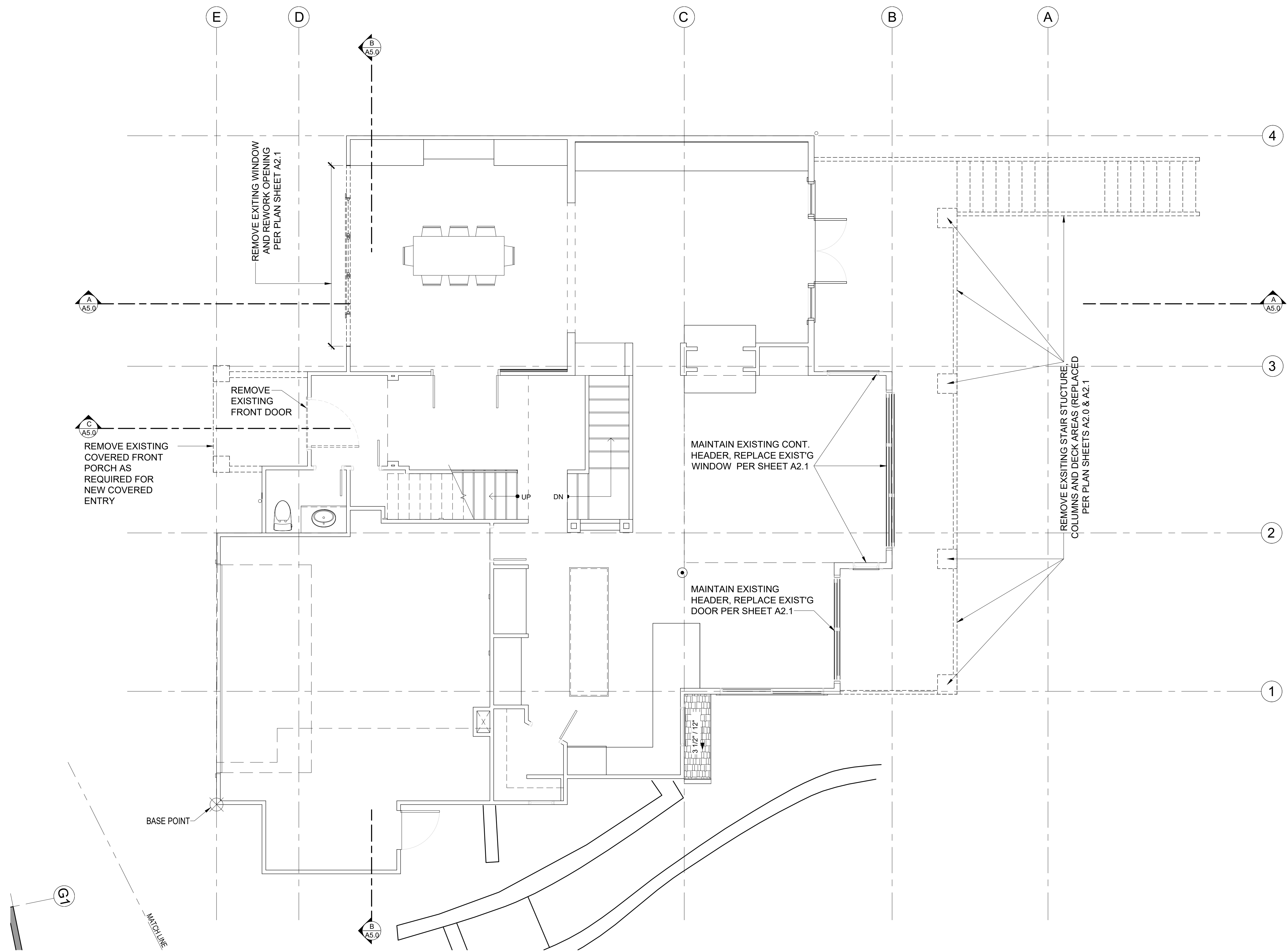
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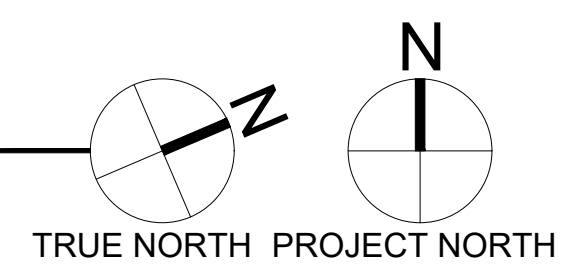
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**PARCEL # 082405-9027**



### 1ST FLOOR PLAN DEMO

SCALE: 1/4" = 1'-0"



#### DEMOLITION PLAN NOTES

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- REMOVE ALL MATERIALS REQUIRED FOR NEW SCOPE OF WORK.
- SEE SHEET A0.3 FOR ADDITIONAL NOTES.

#### SYMBOL LEGEND

- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING STRUCTURE TO BE DEMOED

DRAWING NAME:

#### DEMOLITION 1ST FLOOR

Drawn By: JMG, RB  
Checked By: EB  
Owner Approval:

PHASE:

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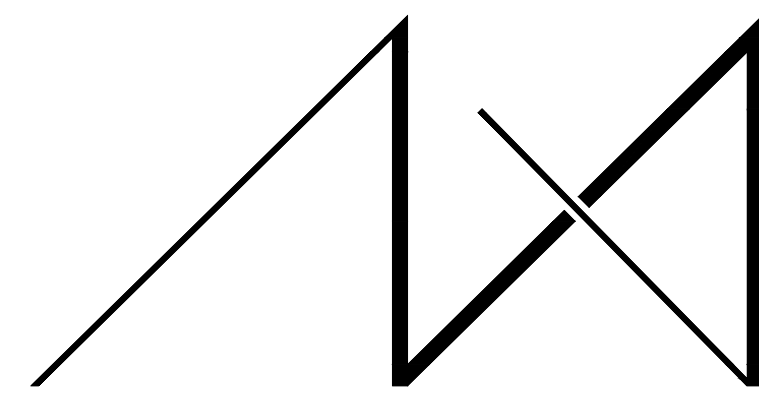
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PROJECT No.: 2020 007

DATE: 12-22-2020

PLOT SCALE: 1:1

D1.1



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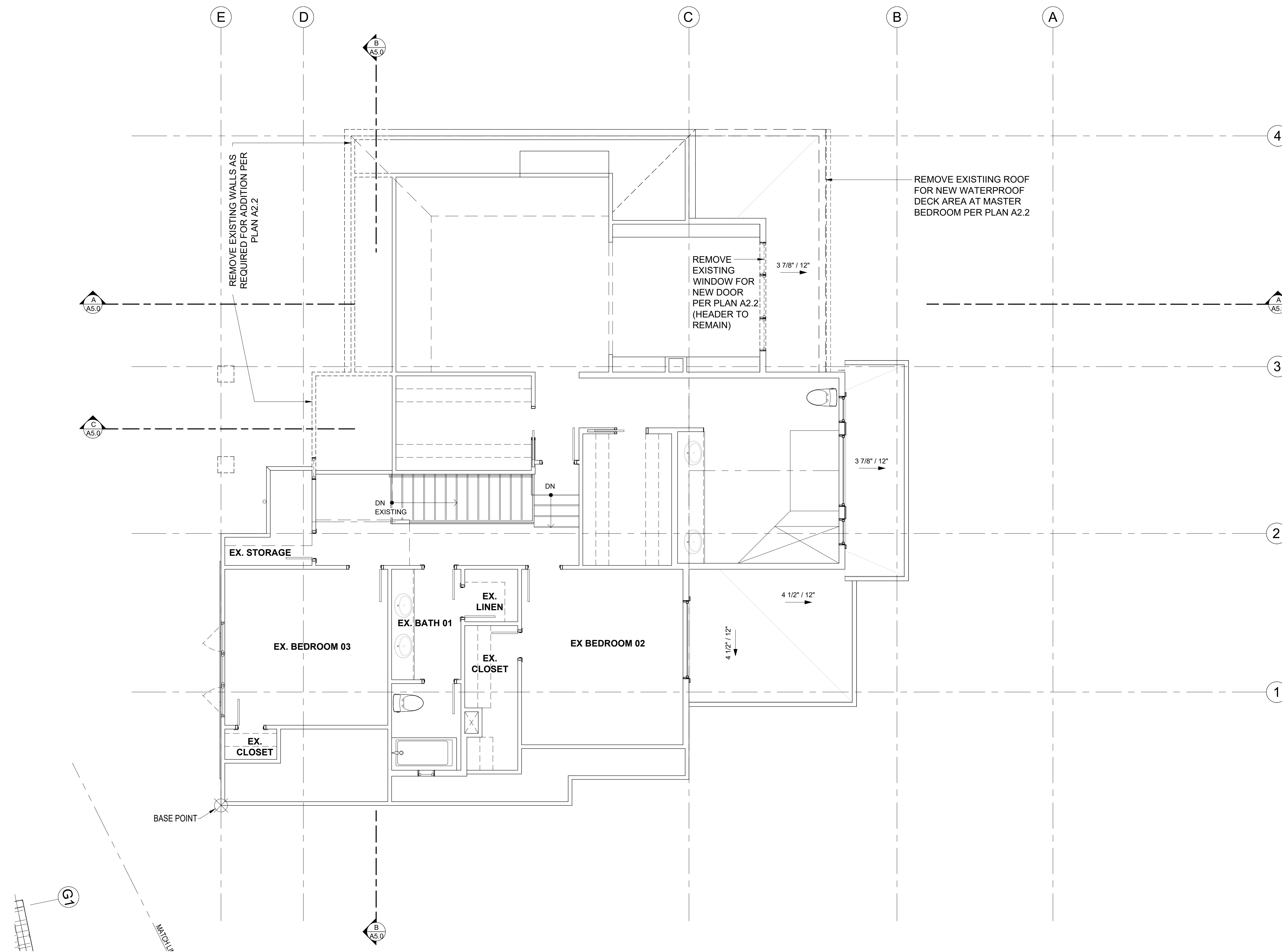
PROJECT / CLIENT:

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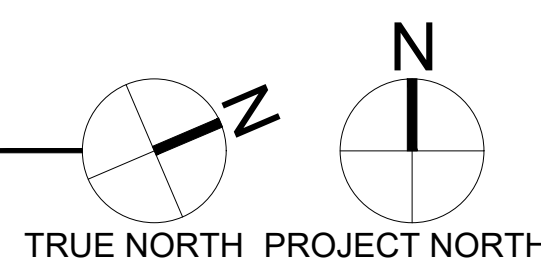
JOB ADDRESS:

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**PARCEL # 082405-9027**



### 2ND FLOOR PLAN DEMO

SCALE: 1/4" = 1'-0"



#### DEMOLITION PLAN NOTES

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- RELOCATE EXISTING UTILITIES AS REQUIRED TO ACCOMMODATE NEW ADDITION AND CONSTRUCTION. DISCONNECT OR CAP ANY UTILITIES AS REQUIRED.
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- CONTRACTOR TO SEAL OFF WORK AREAS TO REDUCE DUST FROM ENTERING OCCUPIED AREAS.
- REMOVE ALL MATERIALS REQUIRED FOR NEW SCOPE OF WORK.
- SEE SHEET A0.3 FOR ADDITIONAL NOTES.

#### SYMBOL LEGEND

- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING STRUCTURE TO BE DEMOED

DRAWING NAME:

#### DEMOLITION 2ND FLOOR

Drawn By: JMG, RB  
Checked By: EB  
Owner Approval:

PHASE:

#### CONSTRUCTION DOCUMENTS

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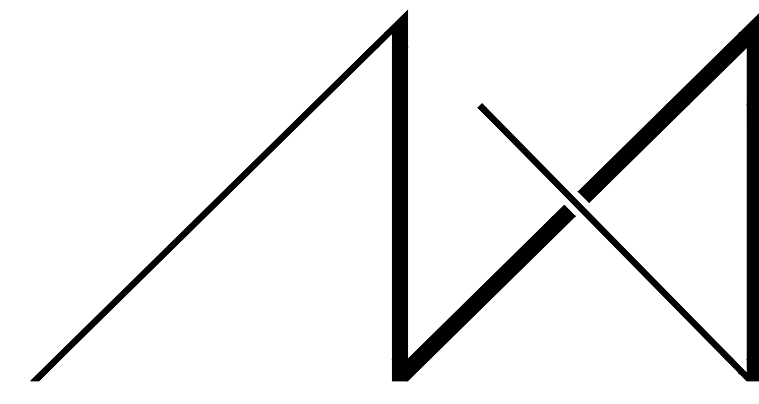
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PLOT SCALE: 1:1

D1.2





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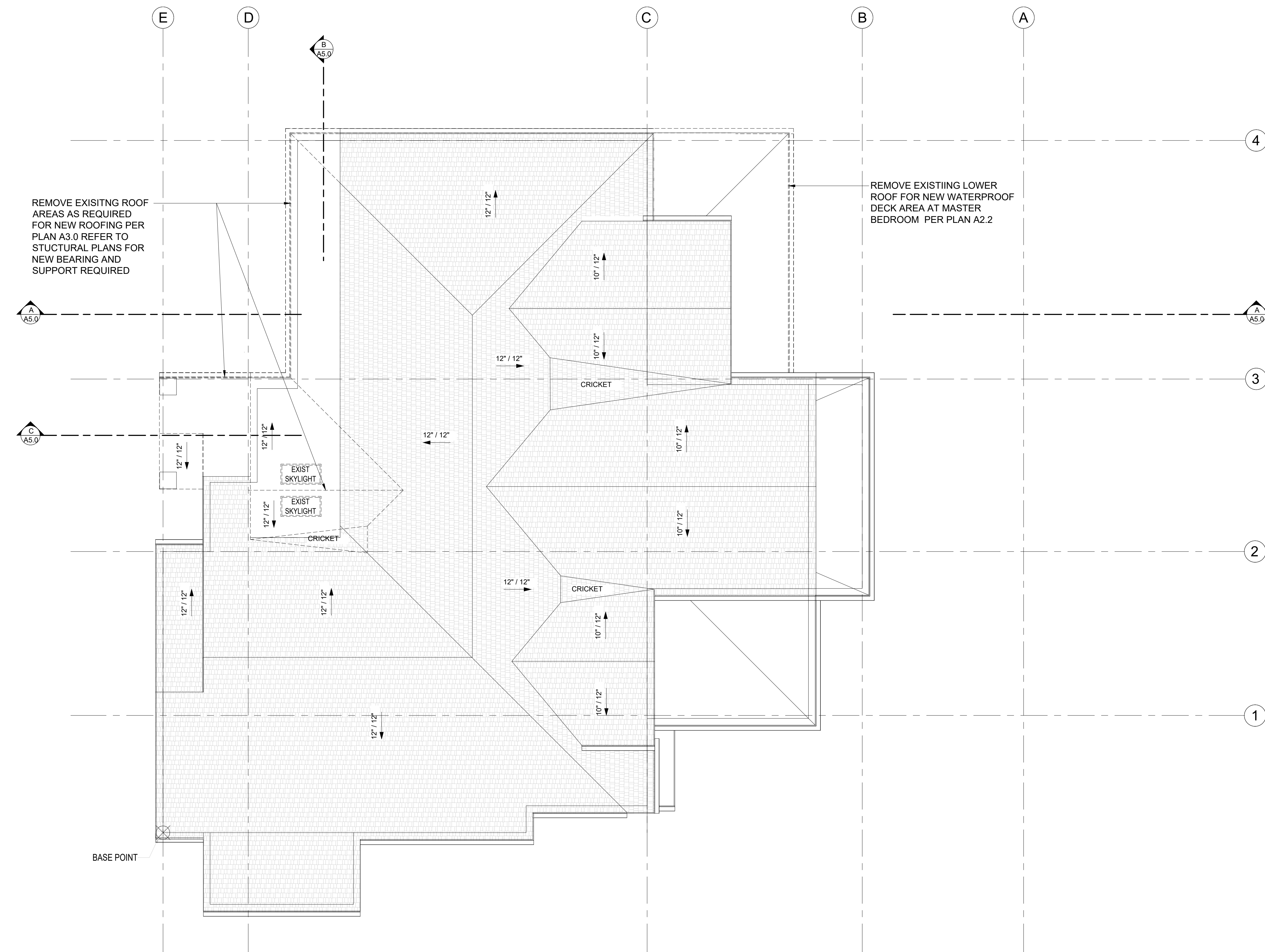
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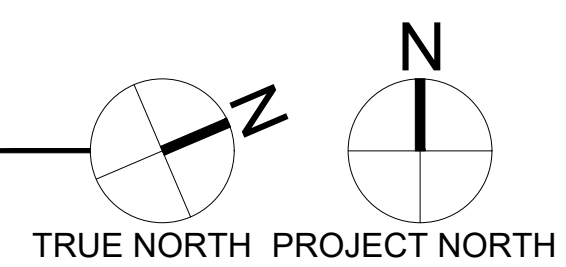
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**PARCEL # 082405-9027**



### ROOF PLAN DEMO

SCALE: 1/4" = 1'-0"



### DEMOLITION PLAN NOTES

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- CONTRACTOR TO REMOVE ALL DEMOLITION DEBRIS FROM SITE.
- PROVIDE TEMPORARY SUPPORT WHILE INSERTING NEW BEAMS OR HEADERS.
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- REMOVE ALL MATERIALS REQUIRED FOR NEW SCOPE OF WORK.
- SEE SHEET A0.3 FOR ADDITIONAL NOTES.

### SYMBOL LEGEND

- EXISTING STRUCTURE TO REMAIN
- EXISTING STRUCTURE TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING STRUCTURE TO BE DEMOED

DRAWING NAME:

### DEMOLITION ROOF

Drawn By: JMG, RB  
Checked By: EB  
Owner Approval:

PHASE:

### CONSTRUCTION DOCUMENTS

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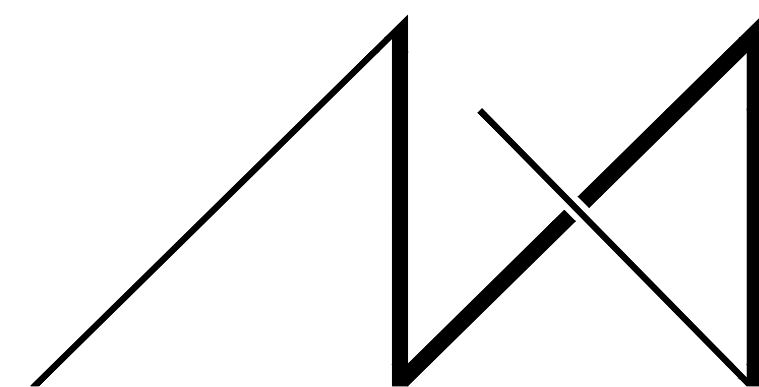
APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007

DATE: 12-22-2020

PLOT SCALE: 1:1

D1.3



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- 5.

PROJECT / CLIENT:

**9820 SE 35TH PLACE**

ACHIN & MARY CHEN  
9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040  
**PARCEL # 082405-9027**

DRAWING NAME:

**FOUNDATION PLAN**

Drawn By: JMG, RB

Checked By: EB

Owner Approval:

PHASE:

**CONSTRUCTION DOCUMENTS**

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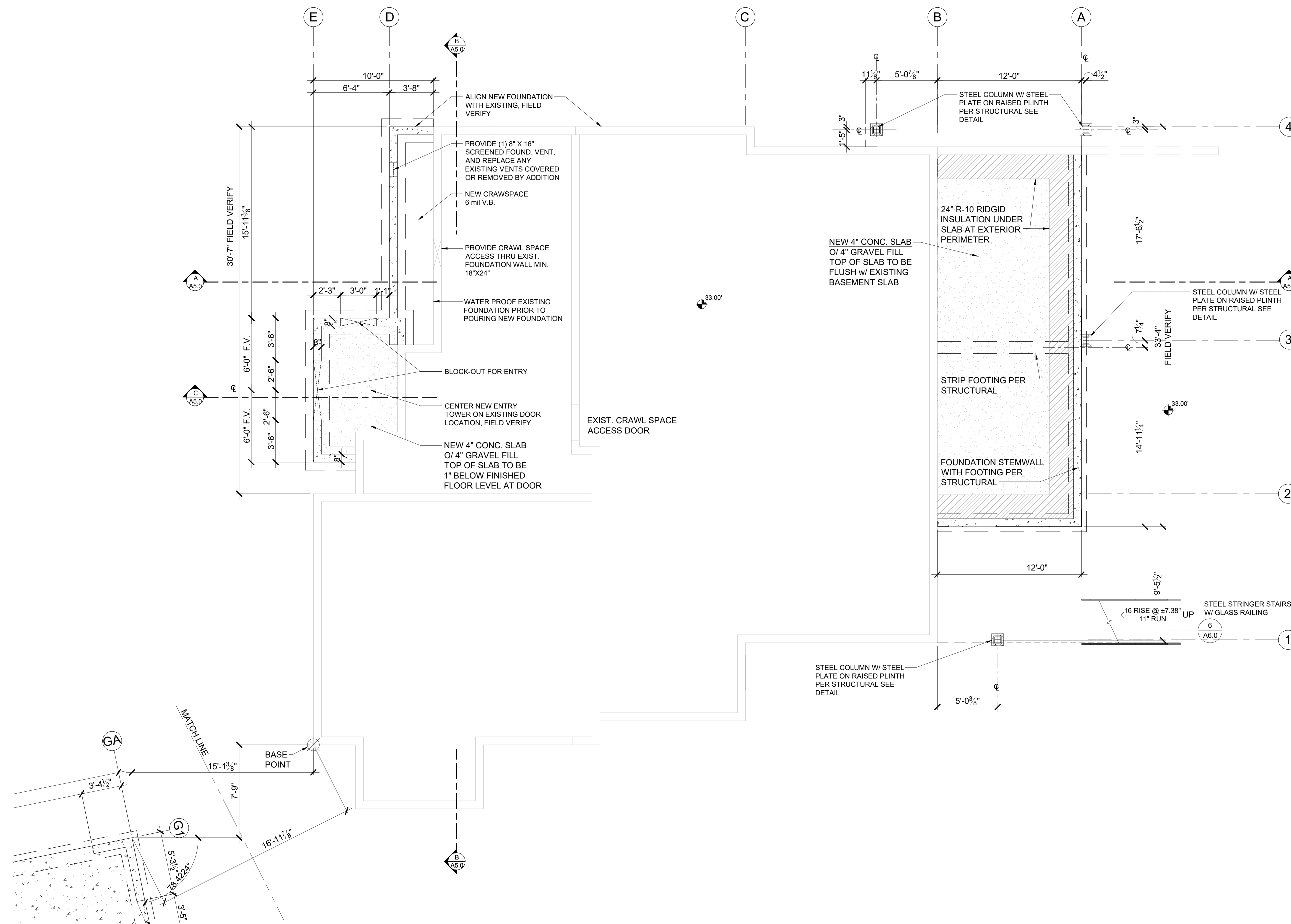
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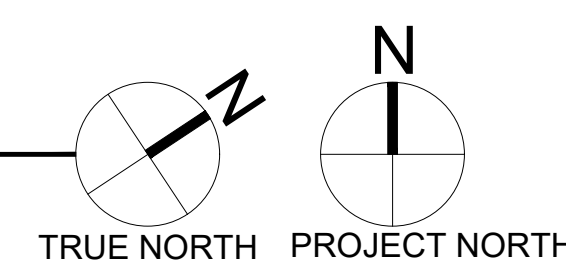
PLOT SCALE: 1:1

**A1.0**



**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

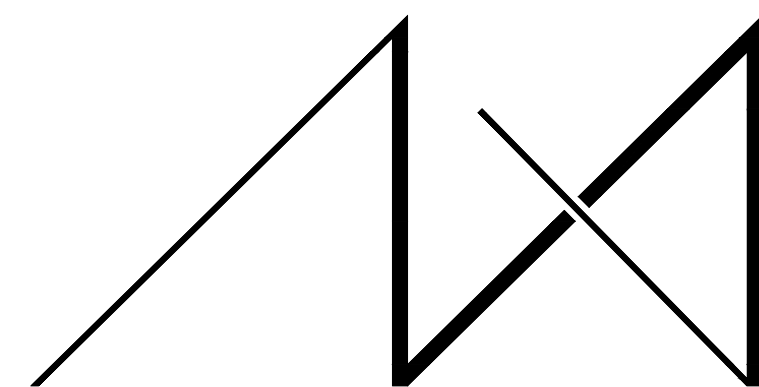


| CRAWL SPACE - VENTILATION CALCULATION |        |                                  |                |
|---------------------------------------|--------|----------------------------------|----------------|
| Added Crawl Space Area:               | 51     | s.f.                             |                |
| Ventilation Required:                 | 51     | s.f. x 144 s.i.1 / 1,500*        | 4.9 s.i. Req'd |
| Use:                                  | 16"x8" | Foundation Vents                 |                |
| Vent Area =                           | 98.0   | s.i. - 25% reduction + 1/4" mesh | 73.5 s.i.      |
| Number of vents required:             | 4.9    | s.i. / vent area                 | 0.1 vents      |
| Provide:                              | 1.0    |                                  | 73.5 Provided  |
| Total Min. Ventilation Provided =     | 73.5   | s.i. IS GREATER THAN             | 4.9 s.i. Req'd |

\* 2015 IRC - PER R408.1 THE TOTAL AREA OF VENTILATION OPENINGS SHALL BE PERMITTED TO BE REDUCED TO 1/1,500 OF THE UNDER-FLOOR AREA WHERE THE GROUND SURFACE IS COVERED WITH AN APPROVED CLASS I VAPOR RETARDER MATERIAL AND THE REQUIRED OPENINGS ARE PLACED TO PROVIDE CROSS VENTILATION OF THE SPACE

**SYMBOL LEGEND**

- EXIST. FOUNDATION WALL
- SLAB ON GRADE
- NEW FOUNDATION WALL W/ FOOTING
- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN
- CRAWL SPACE VENT

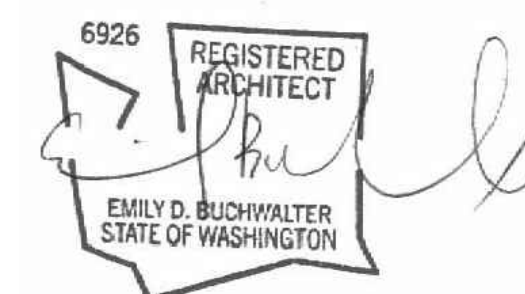


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MERCER ISLAND, WA 98040  
PARCEL # 082405-9027

DRAWING NAME:

**BASEMENT  
CONSTRUCTION PLAN**

Drawn By: JMG, RB

Checked By: EB

Owner Approval:

PHASE:

**CONSTRUCTION DOCUMENTS**

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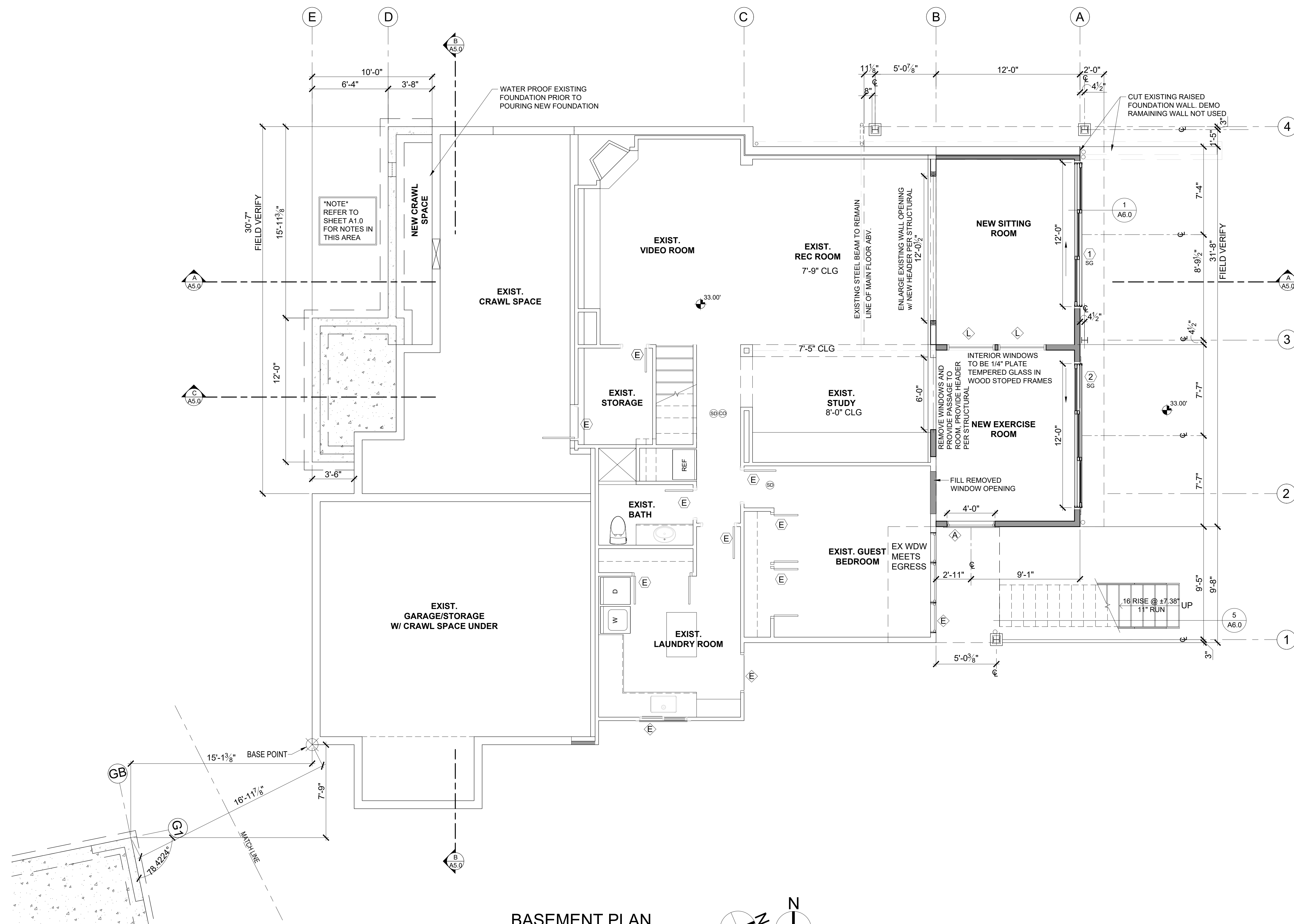
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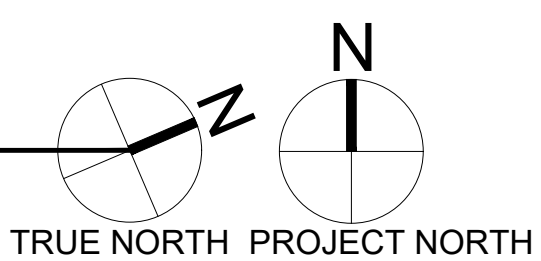
PLOT SCALE: 1:1

**A2.0**



### BASEMENT PLAN

SCALE: 1/4" = 1'-0"



### FLOOR PLAN NOTES

- CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
- ALL POSTS, BEAMS & HEADERS SEE STRUCTURAL DRAWINGS.
- PROVIDE SOLID BLOCKING OVER SUPPORTS.
- PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
- WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
- DOOR JAMB 4.5" U.N.O.
- SEE ELEVATIONS SHEETS A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
- EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
- INSTALL SIMPSON CONC. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS. ALSO SEE MANUFACTURER'S SPECS.
- SMOKE & CARBON MONOXIDE DETECTORS: VERIFY LOCATIONS OF EXISTING DETECTORS IN HOME AND UPDATE PER CODE.
  - SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
  - SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
  - SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
  - SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24".
- SEE SHEET A0.1 FOR ADDITIONAL NOTES.
- FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1.
- ALL EXPOSED STEEL, METAL FLASHING AND COPING TO BE POWDER COATED, COLOR TO BE DETERMINED.

### SYMBOL LEGEND

- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- DOORS
- WINDOWS
- EXIST. FOUNDATION WALL
- SLAB ON GRADE
- NEW FOUNDATION WALL w/ FOOTING
- NEW 2X WALLS
- EXISTING 2X WALLS
- BRICK WALLS
- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN

### HOUSE VENTILATION

2015 IRC - PROVIDE WHOLE HOUSE VENTILATION PER M1507, INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1507.3, TABLE 1507.3.3(1) & TABLE 1507.3.3(2), PROVIDE CONTROLS PER 1507.3.2. COMPLY WITH WSEC R403.6

| SYMBOL | LOCATION      | MINIMUM FAN REQUIREMENTS  |
|--------|---------------|---|
|        | Bath & Powder | Min. 50 cfm (INTERMITTENT) @ 0.25" WG (TABLE M1507.4)   |
|        | Kitchen       | Min. 100 cfm (INTERMITTENT) @ 0.25" WG (TABLE M1507.3)<br>(Range hood or down draft exhaust fan rated at min. 100 cfm at 0.10" wg may be used for exhaust fan requirement.) If over 400 cfm, makeup air is required in the same room per M1503.4. |
|        | Laundry Room  | Min. 180 cfm (INTERMITTENT) @ 0.25" WG - to function and be labeled as whole house fan (4-6 BEDROOMS 3001+ 4500 SF.) TO OPERATE AT LEAST 50% OF TIME IN EACH 4-HOUR SEGMENT   |

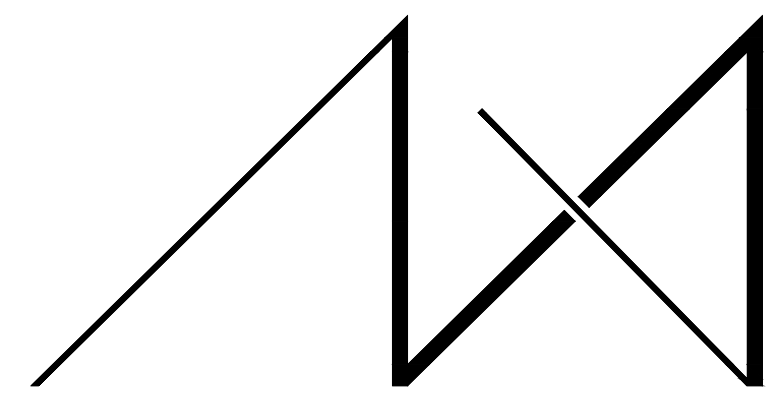
DRYER VENT PER (TABLE M1507.4.5.1) VENTED TO OUTSIDE

\*ALL FANS TO VENT TO OUTSIDE

\*PER M1507.3.4 WHERE WHOLE HOUSE VENTILATION USING EXHAUST FANS ARE PROVIDED, OPERABLE WINDOWS WITH AN OPENABLE AREA NOT LESS THAN 4 SQUARE INCHES OF NET FREE AREA OF OPENING FOR EACH 10 CFM OF OUTDOOR AIR IS REQUIRED BY TABLE M1507.3.3(1) - PROVIDE 72 SQUARE INCHES OF NET FREE OPENING AREA PER HABITABLE ROOM.

NOTE:  
ALL SHOWERHEAD AND KITCHEN SINK FAUCETS SHALL BE RATED @ 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED @ 1.0 GPM OR LESS.  
CONTRACTOR TO KEEP PRODUCT LITERATURE ON SITE.

LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.

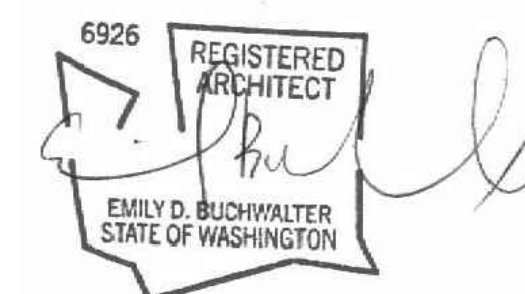


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MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040  
PARCEL # 082405-9027

DRAWING NAME:

**1ST FLOOR CONSTRUCTION PLAN**

Drawn By: JMG, RB  
Checked By: EB  
Owner Approval:

PHASE:

**CONSTRUCTION DOCUMENTS**

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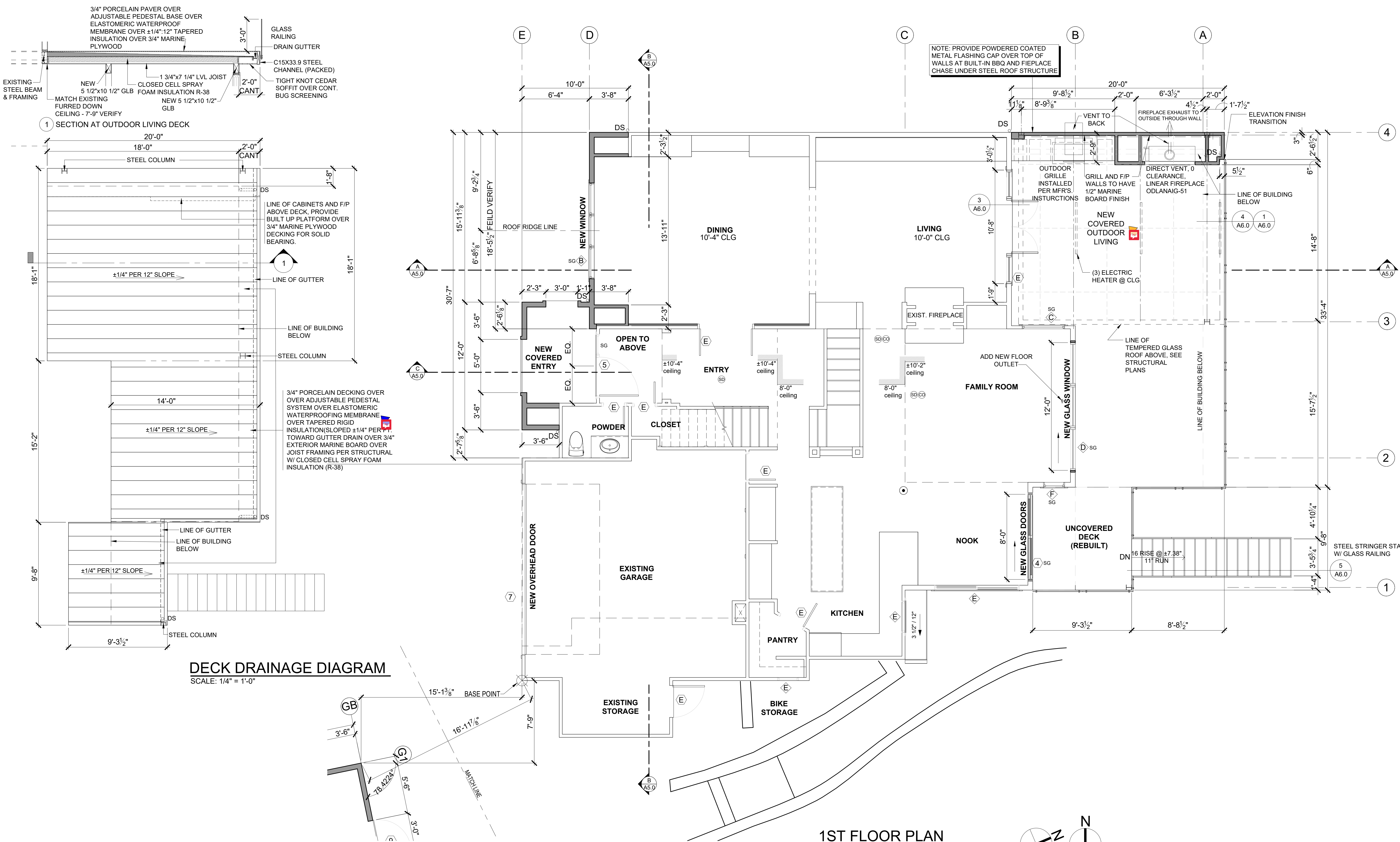
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PROJECT No.: 2020 007

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PLOT SCALE: 1:1

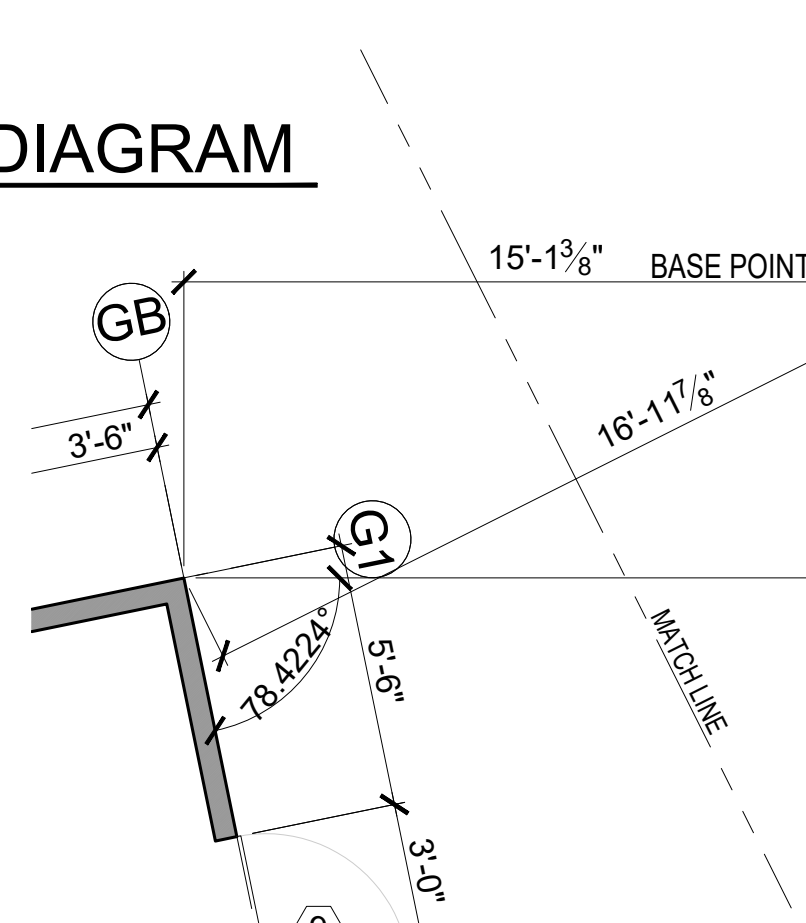
**A2.1**



**SYMBOL LEGEND**

|    |  |
|----|--|
| SD | SMOKE DETECTOR                                   |
| CO | CARBON MONOXIDE DETECTOR                         |
| 9  | DOORS  |
| C  | WINDOWS  |
| ▬  | EXIST. FOUNDATION WALL                           |
| ▬  | SLAB ON GRADE                                    |
| ▬  | NEW FOUNDATION WALL w/ FOOTING                   |
| ▬  | NEW 2X WALLS                                     |
| ▬  | EXISTING 2X WALLS                                |
| ▬  | BRICK WALLS                                      |
| ⊗  | POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN |

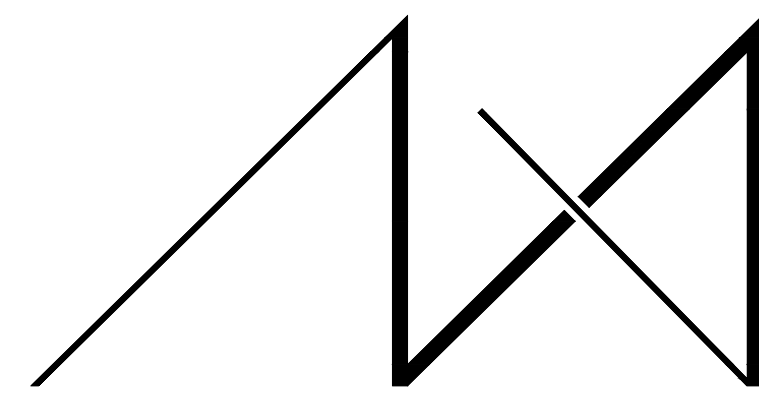
**DECK DRAINAGE DIAGRAM**  
SCALE: 1/4" = 1'-0"



3/4" PORCELAIN DECKING OVER OVER ADJUSTABLE PEDESTAL SYSTEM OVER ELASTOMERIC WATERPROOFING MEMBRANE OVER TAPERED RIGID INSULATION (SLOPED ±1/4" PER 1" TOWARD GUTTER DRAIN OVER 3/4" EXTERIOR MARINE BOARD OVER JOIST FRAMING PER STRUCTURAL W/ CLOSED CELL SPRAY FOAM INSULATION (R-38)

LINE OF CABINETS AND F/P ABOVE DECK, PROVIDE BUILT UP PLATFORM OVER 3/4" MARINE PLYWOOD DECKING FOR SOLID BEARING.

NOTE: PROVIDE POWDERED COATED METAL FLASHING CAP OVER TOP OF WALLS AT BUILT-IN BBQ AND FIREPLACE CHASE UNDER STEEL ROOF STRUCTURE

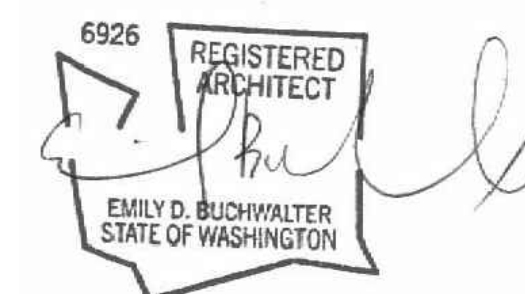


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9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040  
**PARCEL # 082405-9027**

DRAWING NAME:

**2ND FLOOR  
CONSTRUCTION PLAN**

Drawn By: JMG, RB  
Checked By: EB  
Owner Approval:

PHASE:

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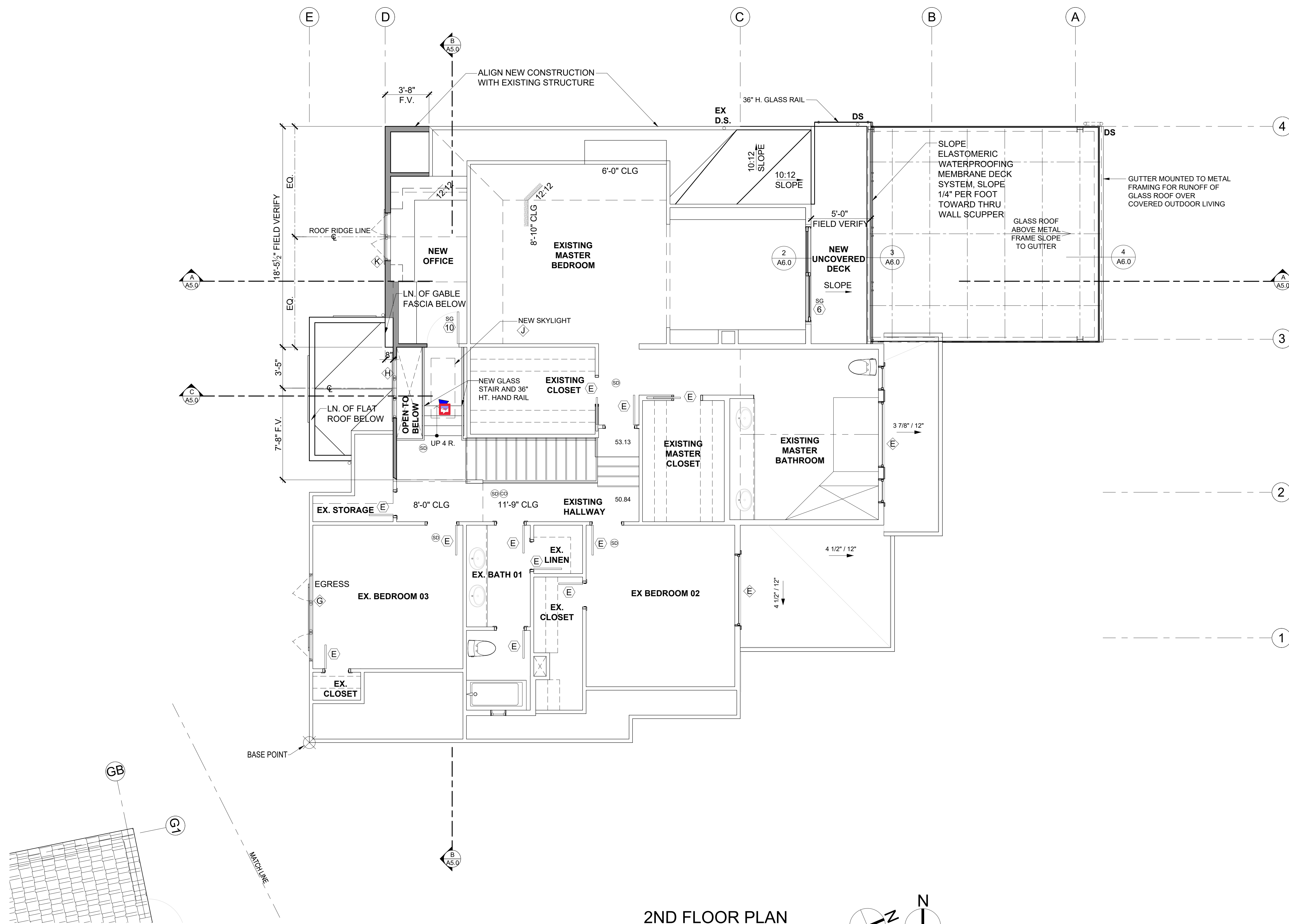
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PROJECT No.: 2020 007

DATE: 12-22-2020

PLOT SCALE: 1:1

**A2.2**



**2ND FLOOR PLAN**

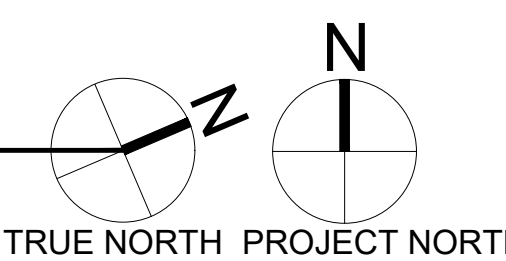
SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. ALL POSTS, BEAMS & HEADERS SEE STRUCTURAL DRAWINGS.
3. PROVIDE SOLID BLOCKING OVER SUPPORTS.
4. PROVIDE FIRE BLOCKING @ ALL PLUMBING PENETRATIONS.
5. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES.
6. DOOR JAMB 4 5/8" U.N.O.
7. SEE ELEVATIONS SHEETS A4.0 & A4.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
8. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
9. EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C., U.N.O.
10. INSTALL SIMPSON CONC. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS. ALSO SEE MANUFACTURER'S SPECS.
11. SMOKE & CARBON MONOXIDE DETECTORS: VERIFY LOCATIONS OF EXISTING DETECTORS IN HOME AND UPDATE PER CODE.
  - \* SHALL BE 110V INTERCONNECTED W/ BATTERY BACKUP.
  - \* SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS.
  - \* SHALL BE INSTALLED ON EACH FLOOR AND IN ALL BEDROOMS.
  - \* SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING CHANGE OF GREATER THAN 24"
12. SEE SHEET A0.1 FOR ADDITIONAL NOTES.
13. FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1.
14. ALL EXPOSED STEEL METAL FLASHING AND COPING TO BE POWDER COATED, COLOR TO BE DETERMINED.

**SYMBOL LEGEND**

- SD SMOKE DETECTOR
- CO CARBON MONOXIDE DETECTOR
- D DOORS
- C WINDOWS
- EXIST. FOUNDATION WALL
- SLAB ON GRADE
- NEW FOUNDATION WALL W/ FOOTING
- NEW 2X WALLS
- EXISTING 2X WALLS
- BRICK WALLS
- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN



**HOUSE VENTILATION**

2015 IRC - PROVIDE WHOLE HOUSE VENTILATION PER M1507, INTERMITTENT WHOLE HOUSE VENTILATION USING EXHAUST FAN PER 1507.3, TABLE 1507.3.3(1) & TABLE 1507.3.3(2), PROVIDE CONTROLS PER 1507.3.2. COMPLY WITH WSEC R403.6

**SYMBOL LOCATION | MINIMUM FAN REQUIREMENTS**

|   |               |  |
|---|---------------|--|
| A | Bath & Powder | Min. 50 cfm (INTERMITTENT) @ 0.25" WG (TABLE M1507.4)  |
| B | Kitchen       | Min. 100 cfm (INTERMITTENT) @ 0.25" WG (TABLE M1507.3)<br>(Range hood or down draft exhaust fan rated at min. 100 cfm at 0.1" wg may be used for exhaust fan requirement.) If over 400 cfm, makeup air is required in the same room per M1503.4. |
| C | Laundry Room  | Min. 180 cfm (INTERMITTENT) @ 0.25" WG - to function and be labeled as whole house fan (4-5 BEDROOMS 3001< 4500 SF.) TO OPERATE AT LEAST 50% OF TIME IN EACH 4-HOUR SEGMENT  |

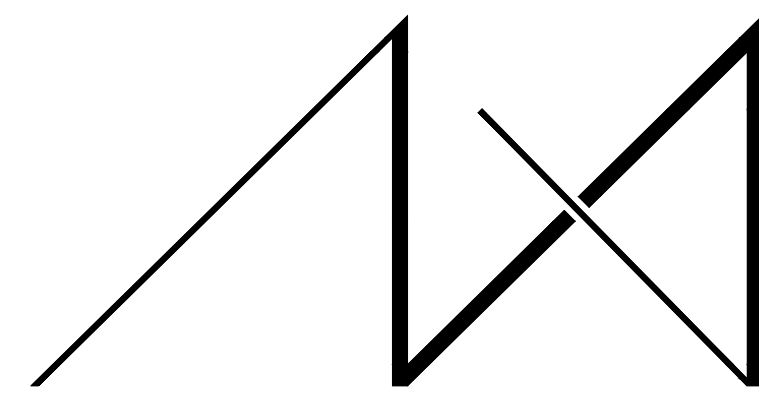
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\*ALL FANS TO VENT TO OUTSIDE

\*\*PER M1507.3.4, WHERE WHOLE HOUSE VENTILATION USING EXHAUST FANS ARE PROVIDED, OPERABLE WINDOWS WITH AN OPENABLE AREA NOT LESS THAN 4 SQUARE INCHES OF NET FREE AREA OF OPENING FOR EACH 10 CFM OF OUTDOOR AIR IS REQUIRED BY TABLE M1507.3.3(1) - PROVIDE 72 SQUARE INCHES OF NET FREE OPENING AREA PER HABITABLE ROOM.

NOTE:  
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CONTRACTOR TO KEEP PRODUCT LITERATURE ON SITE.

LIMITING DEVICE FOR TUBS TO PROVIDE MAX. 120°F HOT WATER TEMPERATURE.



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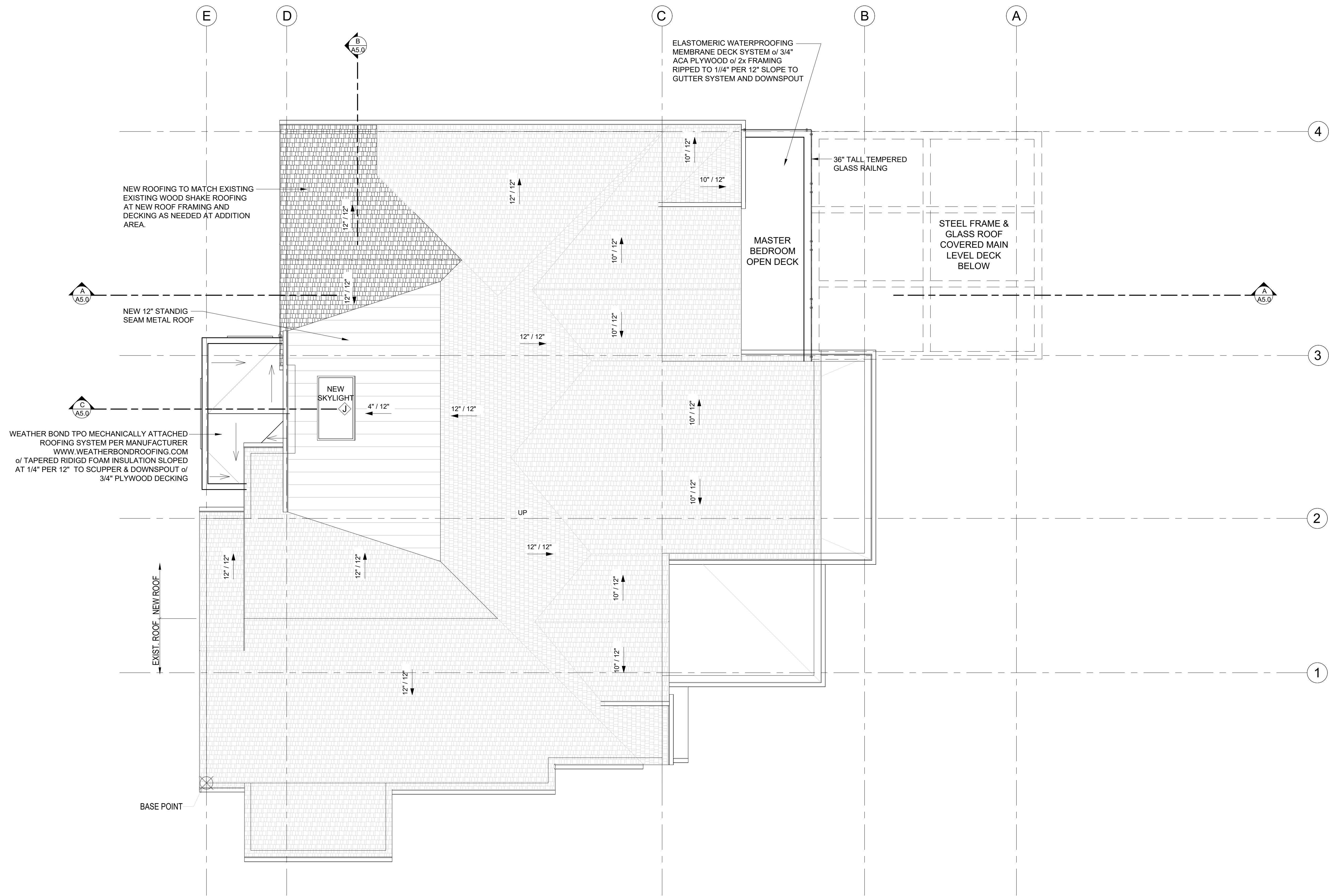
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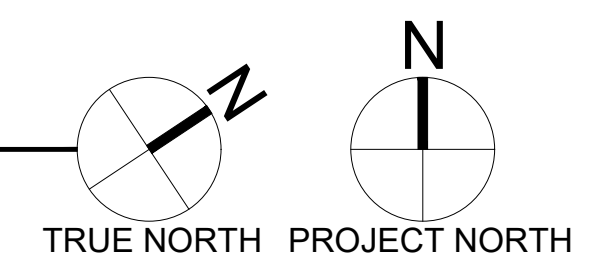
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JOB ADDRESS:

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MERCER ISLAND, WA 98040  
**PARCEL # 082405-9027**



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



| ROOF - VENTILATION CALCULATION           |       |                              |       |             |
|--|-------|------------------------------|-------|-------------|
| Stick built Roof Construction:           |       |                              |       |             |
| Roof Area:                               | 356.7 | s.f.                         |       |             |
| Ventilation Required:                    | 356.7 | s.f. x 144 s.i. / 300"=      | 171.2 | s.i. Req'd  |
| Proposed Ventilation :                   |       |                              |       |             |
| SmartVent Shingle vent (upper or ridge)  | 4.5   | s.i. nfa / l.f.=             | 4.5   | s.i. / l.f. |
| Provide :                                | 20.0  | l.f. Upper Ventilation =     | 90.0  | s.i.        |
| SmartVent Shingle vent (lower roof edge) | 4.5   | s.i. nfa / l.f. =            | 4.5   | s.i.        |
| Provide:                                 | 20.0  | l.f. Eave Edge Ventilation = | 90.0  | s.i.        |
| Total Ventilation Provided               | 180.0 | s.i. IS GREATER THAN         | 171.2 | s.i. Req'd  |

DRAWING NAME:

**ROOF PLAN**

Drawn By: JMG, RB  
Checked By: EB  
Owner Approval:

PHASE:

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APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007  
DATE: 12-22-2020

PLOT SCALE: 1:1

**A3.0**

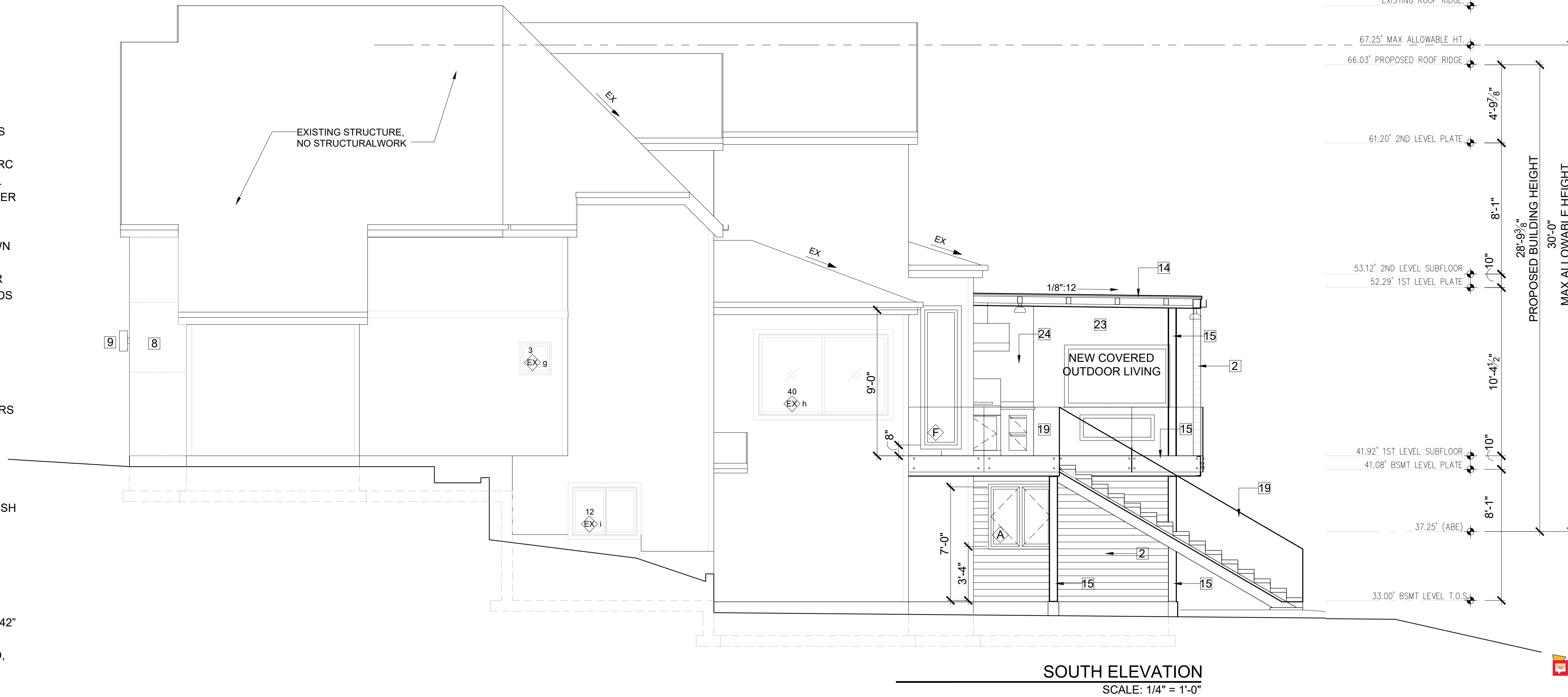
**ELEVATIONS NOTES & KEY NOTES:**

1. VERIFY SHEAR WALL NAILING & HOLDDOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
2. MATCH EXISTING CEDAR SIDING PROFILE AND EXPOSURE, PAINT TO MATCH. INTERWEAVE NEW CEDAR SIDING TO OLD AND EXTEND VAPOR BARRIER MINIMUM OF 6 INCHES. TRANSITIONS TO BE SEAMLESS.
3. CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
4. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.4.
5. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE FLASHING AT ROOF PENETRATIONS PER I.R.C. R903.2 & R903.2.1.
6. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE PRE FINISHED CONTINUOUS ALUMINUM GUTTERS, SCUPPER AND DOWN SPOUTS - COLOR TO MATCH ADJACENT EXTERIOR MATERIAL FINISH. ROOF DRAINS AND SCUPPERS SHALL BE INSTALLED PER IRC SECTION R903.4. PROVIDE EMERGENCY OVERFLOW PER IRC SECTION 1503.4.1. TYPICAL SEE ROOF PLAN SHEET A3.0. DIRECT CONNECT FOOTING DRAINS AND DOWN SPOUTS PER CIVIL DRAWINGS.
7. SEE SHEET A0.1 FOR ADDITIONAL NOTES.
8. STUCCO VENEER: 3-COAT PORTLAND CEMENT STUCCO SHALL HAVE A SCRATCH, BROWN AND FINISH COATS OF PORTLAND CEMENT EXTERIOR PLASTER PER IRC SECTION R703.6.2. SAND FINISH COAT WITH INTEGRAL COLOR, OVER EXTERIOR METAL LATH PER IRC SECTION R703.6.1. TOTAL THICKNESS APPROXIMATELY 7/8". PROVIDE WEEP SCREEDS PER IRC SECTION R703.6.2.1.
9. LIGHTING AT EXTERIOR DOORS, TYP.
10. POWDER COATED COPING
11. TPO ROOFING: MECHANICALLY ATTACHED ROOFING SYSTEM, LIGHT GREY. SCRIM-REINFORCED THERMOPLASTIC POLYOLEFIN (TPO) MEMBRANE. PERIMETER SHEETS ARE INSTALLED ALONG THE BUILDING EDGES AND FIELD MEMBRANE SHEETS ARE MECHANICALLY ATTACHED TO THE ROOF DECK WITH THE APPROPRIATE FASTENERS AND FASTENING PLATES. ADJOINING SHEETS OF MEMBRANE ARE OVERLAPPED AND JOINED TOGETHER WITH A MINIMUM 1-1/2" WIDE HOT AIR WELD. INSTALL PER MANUFACTURER.
12. MATCH EXISTING SHAKE ROOF AND FINISH TO MATCH, INSTALL PER INDUSTRY STANDARDS.
13. 12" STANDING SEAM METAL ROOFING, INSTALL PER INDUSTRY STANDARDS. COLOR FINISH TO BE SELECTED BY OWNER.
14. POWDER COATED STEEL FRAME FOR INSTALLATION OF TEMPERED LAMINATED GLASS ROOF CANOPY, INSTALL BY ROOF CANOPY MANUFACTURER.
15. POWDER COATED STEEL COLUMN OR C-CHANNEL PER STRUCTURAL.
16. FIRE PLACE VENT
17. HOOD VENT OVER BARBEQUE.
18. FRONT ENTRY DOOR: FRONT ENTRY DOOR SHALL BE ALUMINUM, MINIMUM 1-3/4" THICK, 42" WIDE SINGLE SOLID DOOR WITH ONE SIDELIGHT AND TRANSOM WINDOW ABOVE. DOUBLE-GLAZED SAFETY GLASS, WITH LOW-E. PROVIDE ANODIZED METAL THRESHOLD, CYLINDER ENTRY LOCK ACCESS AND DEADBOLT DRILLING. U-VALUE OF DOORS TO BE 0.30 (2015 WSEC) OR BETTER. PROVIDE EUTHERM ALUMINUM DOOR OR EQUAL AS APPROVED BY ARCHITECT.
19. GLASS RAILING HANDRAIL: SIDE MOUNTED FRAMELESS GLASS RAIL SYSTEM WITH NON-GLARE TEMPERED GLASS PANELS.
20. WINDOWS: (CLIMATE ZONE 4C OF THE 2015 WSEC TABLE R402.1.1) ALL WINDOWS SHALL BE DOUBLE-PANED MINIMUM PERFORMANCE AND CONSTRUCTION TO CONFORM WITH IRC SECTION R612. HARDWARE FINISH SHALL MATCH DOOR HARDWARE. ALL CASEMENT OPENINGS SHALL HAVE ROTO HARDWARE. ALL OPENINGS WEATHER-STRIPPED BY MANUFACTURER; GENERAL CONTRACTOR SHALL INSTALL "Z"-FLASHING AT HEADS OF ALL WINDOWS AND SEAL WINDOW PERIMETER PER MANUFACTURER'S SPECIFICATIONS.
21. PORCELAIN PAVERS DECK SYSTEM INSTALL PER POCELANOSA MANUFACTURER INSTRUCTIONS.
22. WOOD DECKING OVER RIPPED CEDAR DECK JOIST OVER 3/4" MARINE BOARD WATER MEMBRANE ROOFING PER IRC. R905.13 AND CLOSED CELL SPAY FOAM R-38.
23. STONE TILE VENEER.
24. BLACKEN STAINLESS STEEL
25. A STEEL, METAL FLASHING AND COPING TO BE POWDER COATED.

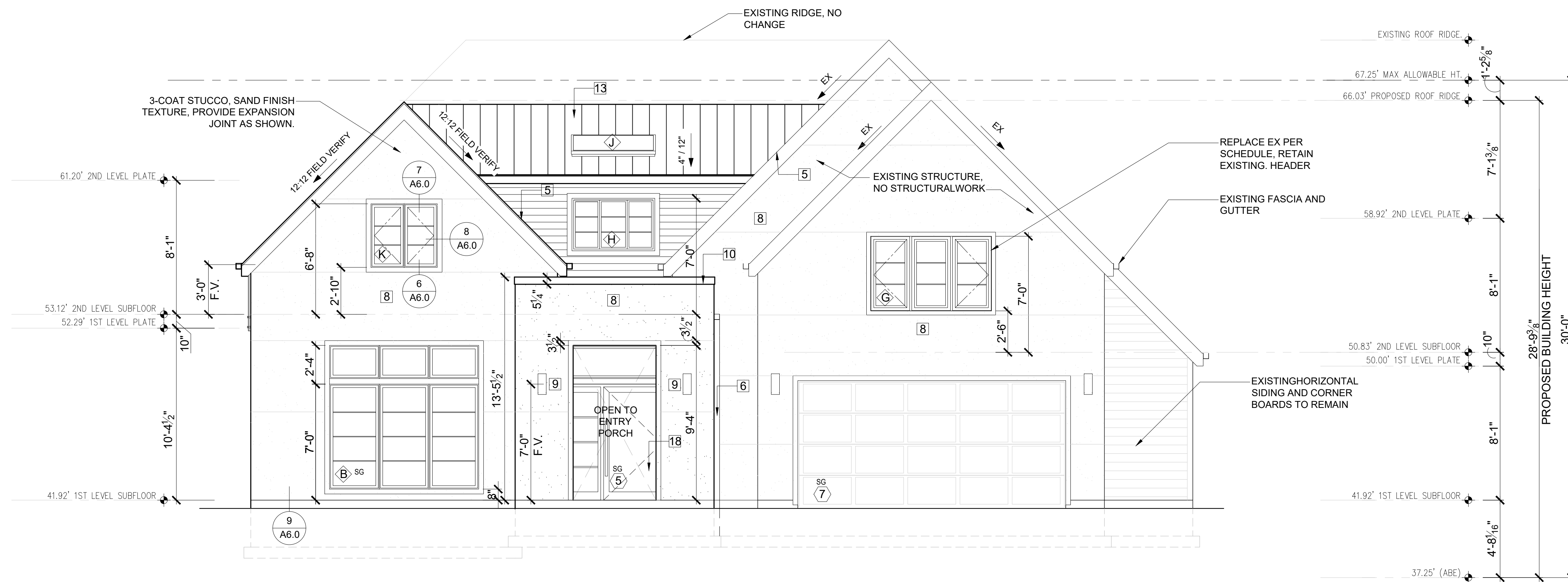
NOTE:  
REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRE GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.

PER IRC - 301.5 CONCENTRATED LOAD. HANDRAILS AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE.

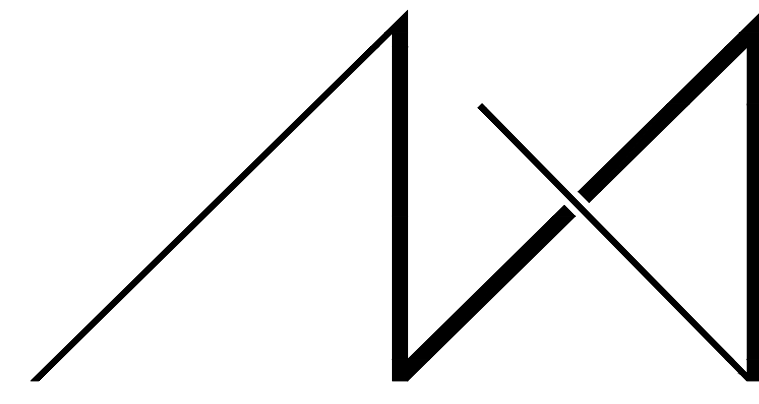
R312.2.1 - WINDOW SILLS. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 7" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTION OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR.



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



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PROJECT / CLIENT:

**9820 SE 35TH PLACE**  
ACHIN & MARY CHEN  
9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040  
**PARCEL # 082405-9027**

DRAWING NAME:

**ELEVATIONS**

Drawn By: JMG, RB

Checked By: EB

Owner Approval:

PHASE:

**CONSTRUCTION DOCUMENTS**

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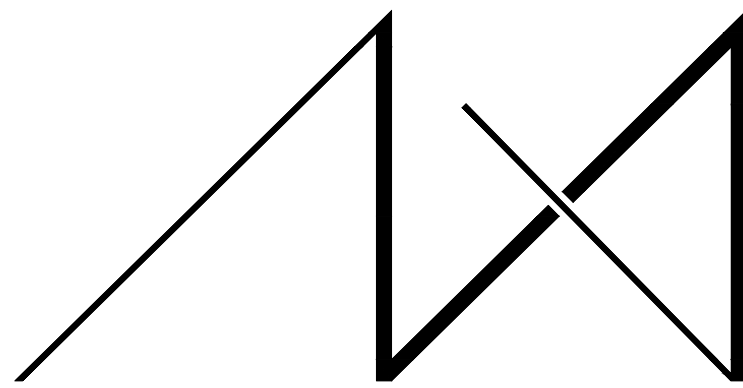
APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007

DATE: 12-22-2020

PLOT SCALE: 1:1

**A4.0**



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A4.1

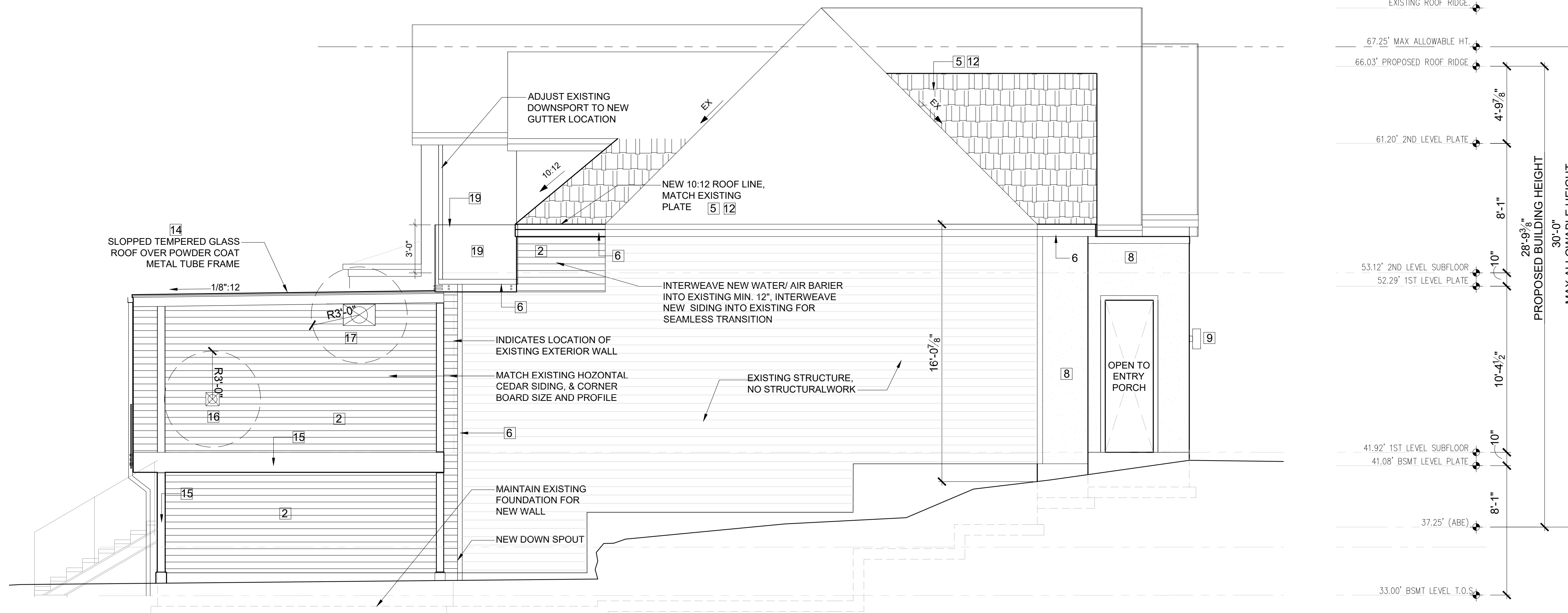
### ELEVATIONS NOTES & KEY NOTES:

- VERIFY SHEAR WALL NAILING & HOLDOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
- MATCH EXISTING CEDAR SIDING PROFILE AND EXPOSURE, PAINT TO MATCH. INTERWEAVE NEW CEDAR SIDING TO OLD AND EXTEND VAPOR BARRIER MINIMUM OF 6 INCHES. TRANSITIONS TO BE SEAMLESS.
- CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
- AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.4.
- AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE FLASHING AT ROOF PENETRATIONS PER I.R.C. R903.2 & R903.2.1.
- AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE PRE FINISHED CONTINUOUS ALUMINUM GUTTERS, SCUPPER AND DOWN SPOUTS - COLOR TO MATCH ADJACENT EXTERIOR MATERIAL FINISH. ROOF DRAINS AND SCUPPERS SHALL BE INSTALLED PER IRC SECTION R903.4. PROVIDE EMERGENCY OVERFLOW PER IRC SECTION 1503.4.1. TYPICAL SEE ROOF PLAN SHEET A3.0. DIRECT CONNECT FOOTING DRAINS AND DOWN SPOUTS PER CIVIL DRAWINGS.
- SEE SHEET A0.1 FOR ADDITIONAL NOTES.
- STUCCO VENEER: 3-COAT PORTLAND CEMENT STUCCO SHALL HAVE A SCRATCH, BROWN AND FINISH COATS OF PORTLAND CEMENT EXTERIOR PLASTER PER IRC SECTION R703.6.2. SAND FINISH COAT WITH INTEGRAL COLOR, OVER EXTERIOR METAL LATH PER IRC SECTION R703.6.1. TOTAL THICKNESS APPROXIMATELY 7/8". PROVIDE WEEP SCREEDS PER IRC SECTION R703.6.2.1
- LIGHTING AT EXTERIOR DOORS, TYP.
- POWDER COATED COPING
- TPO ROOFING: MECHANICALLY ATTACHED ROOFING SYSTEM, LIGHT GRAY, SCRIM-REINFORCED THERMOPLASTIC POLYOLEFIN (TPO) MEMBRANE. PERIMETER SHEETS ARE INSTALLED ALONG THE BUILDING EDGES AND FIELD MEMBRANE SHEETS ARE MECHANICALLY ATTACHED TO THE ROOF DECK WITH THE APPROPRIATE FASTENERS AND FASTENING PLATES. ADJOINING SHEETS OF MEMBRANE ARE OVERLAPPED AND JOINED TOGETHER WITH A MINIMUM 1-1/2" WIDE HOT AIR WELD. INSTALL PER MANUFACTURER.
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- STONE TILE VENEER.
- BLACKEN STAINLESS STEEL

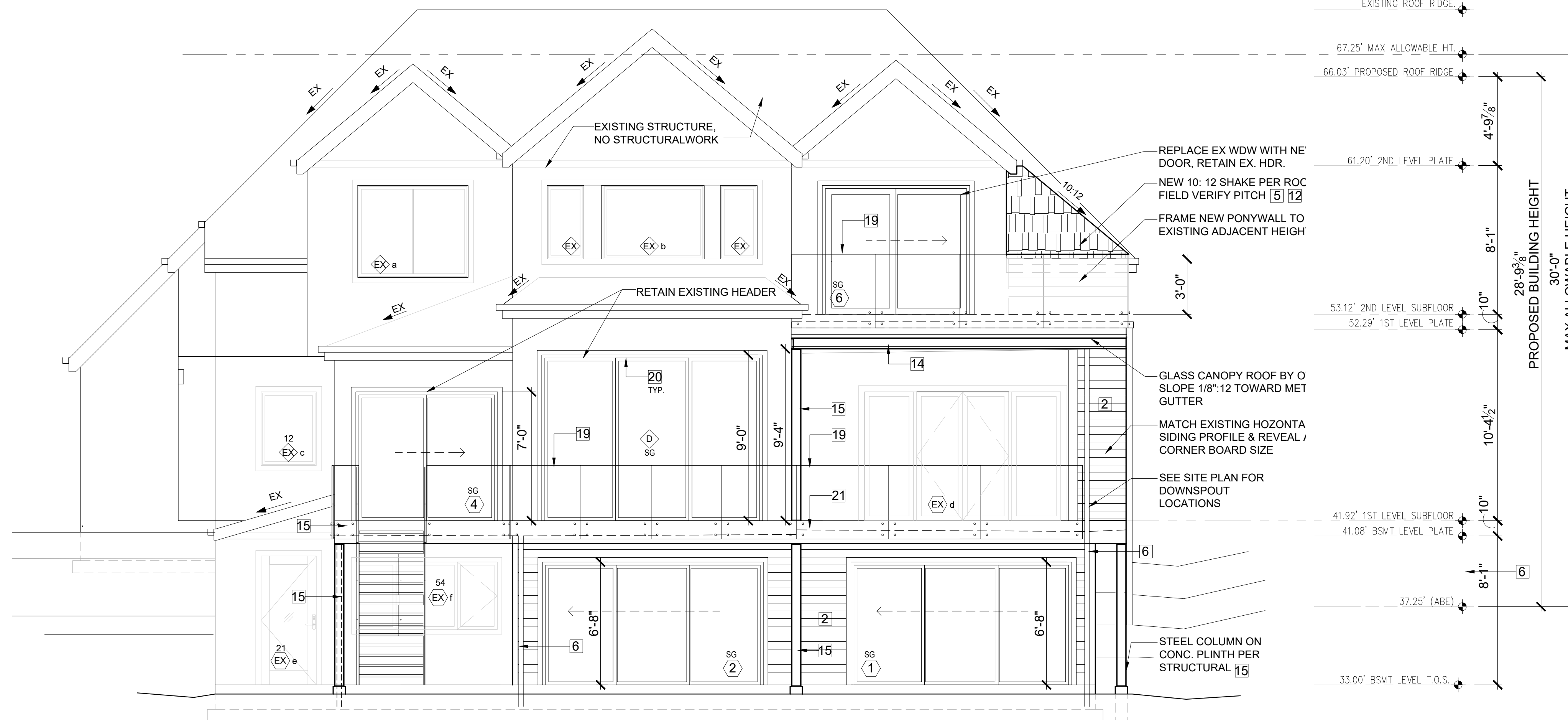
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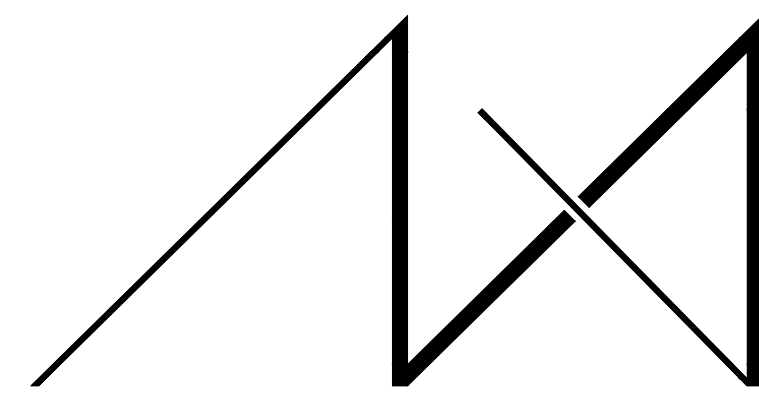


**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



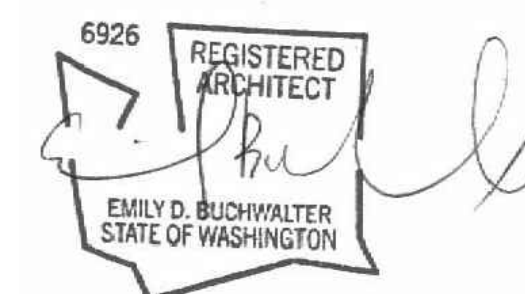


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MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040  
**PARCEL # 082405-9027**

DRAWING NAME:

SECTIONS

Drawn By: JMG, RB

Checked By: EB

Owner Approval:

PHASE:

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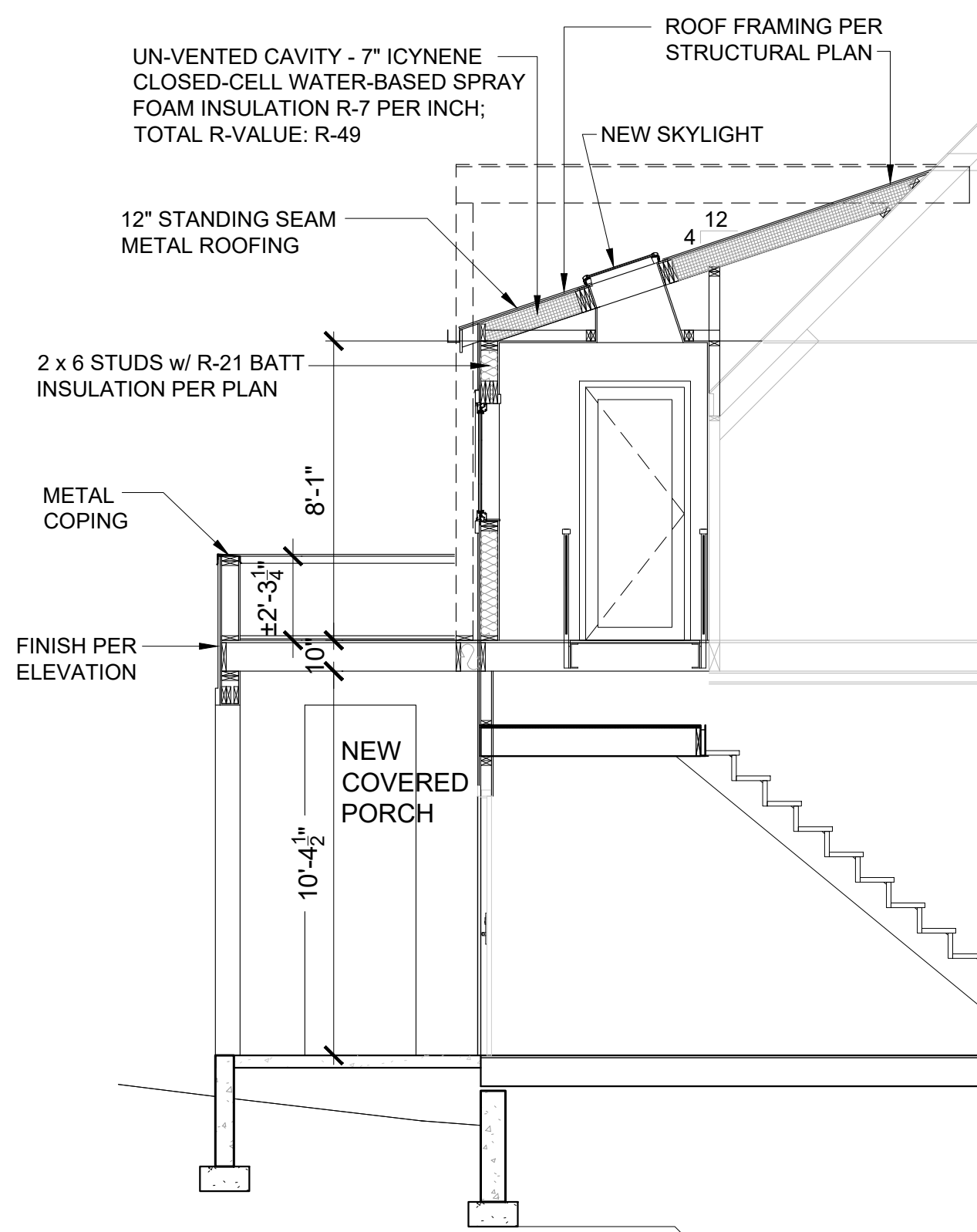
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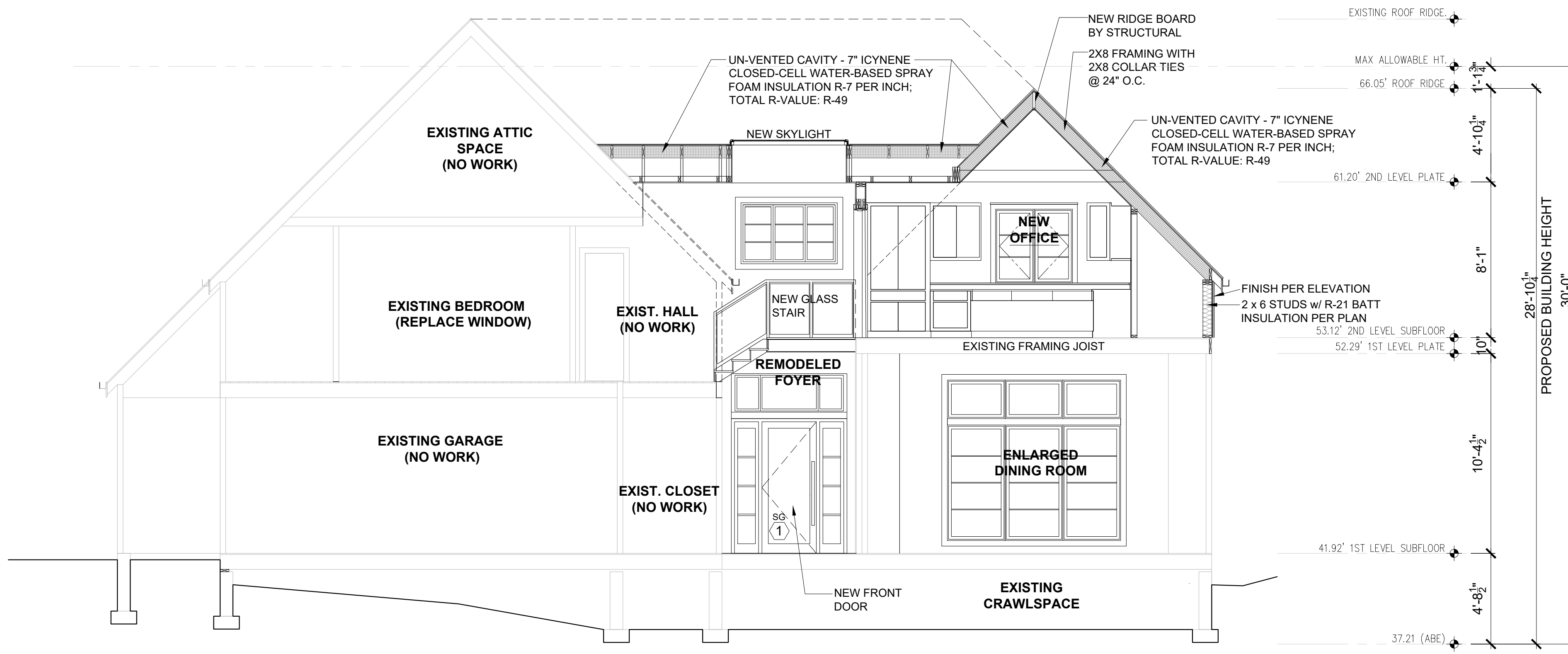
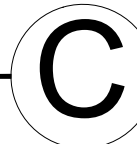
PLOT SCALE: 1:1

A5.0



FOYER STAIR SECTION C

SCALE: 1/4" = 1'-0"



EAST-WEST SECTION BB

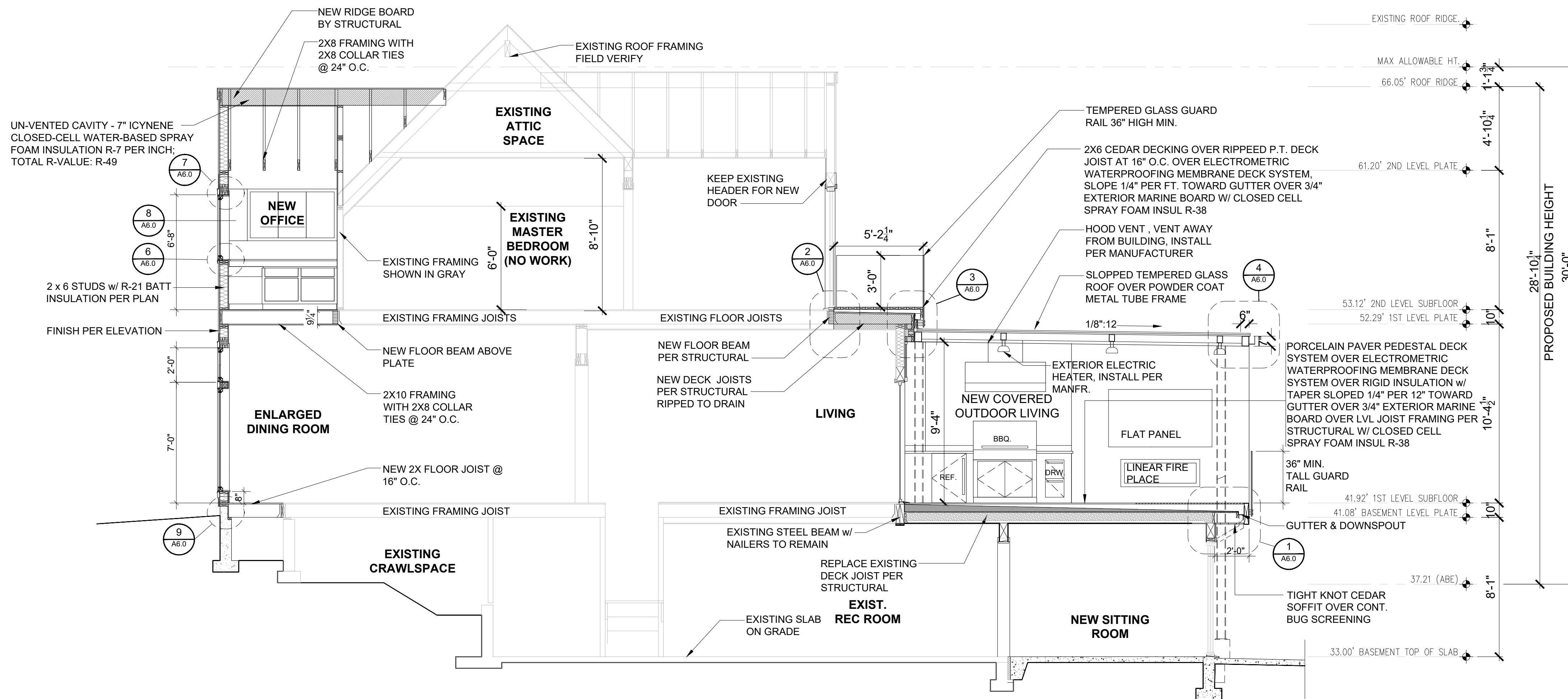
SCALE: 1/4" = 1'-0"



**THERMAL INSULATION:**

Walls (below-grade, exterior):  
Walls (below-grade, interior):  
Walls (above-grade):  
Headers:  
Ceilings (advanced framing):  
Ceilings (standard framing):  
Ceilings (vaulted):  
Floors:  
Slab:  
Solid doors:  
Windows & doors with glazing:  
Skylights:

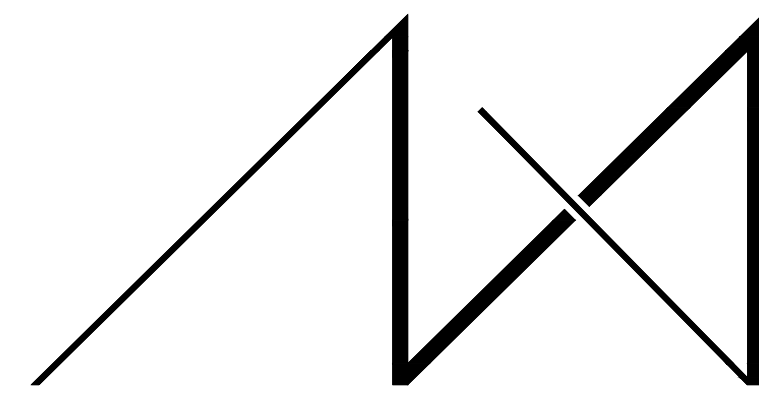
R-10 rigid insulation  
R-21 batt or rigid insulation  
R-21 batt or rigid insulation  
R-10 rigid insulation  
R-38 batt  
R-49 batt  
Icynene with min R-49  
R-30 batt or rigid insulation  
R-10 water-resistant rigid insulation  
U-value of .20 or better  
U-value of .30 or better  
U-value of .50 or better



NORTH-SOUTH SECTION AA

SCALE: 1/4" = 1'-0"



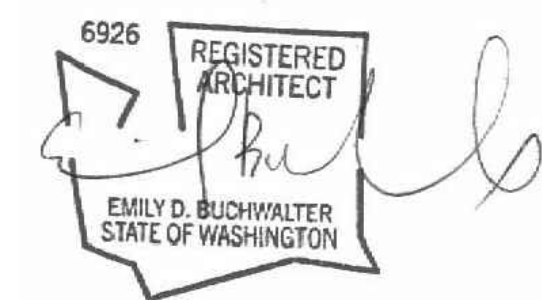


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JOB ADDRESS:

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**PARCEL # 082405-9027**

DRAWING NAME:

**DETAILS**

Drawn By: JMG, RB  
Checked By: EB  
Owner Approval:

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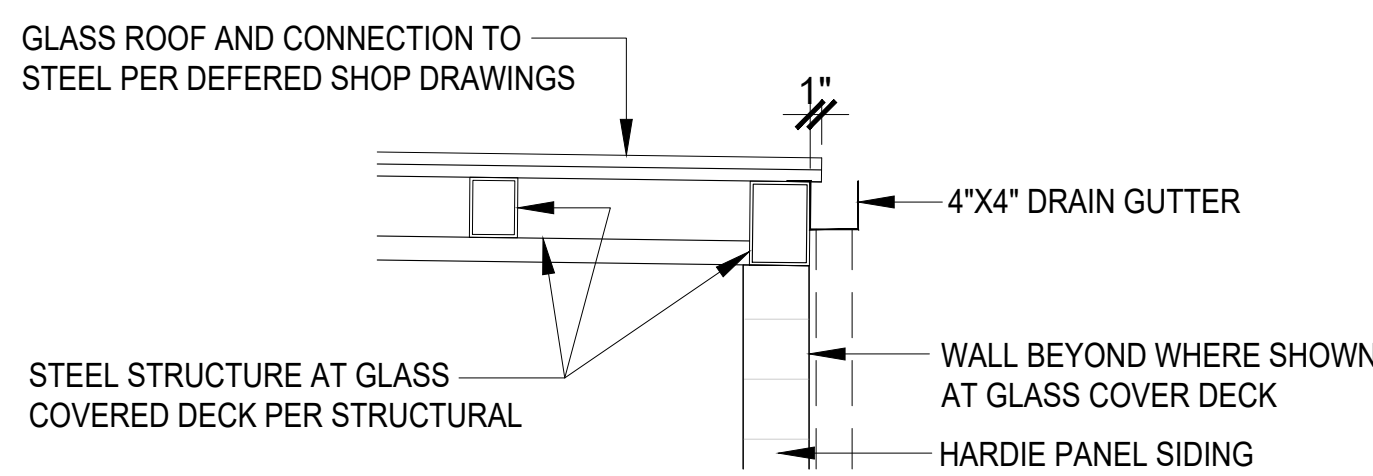
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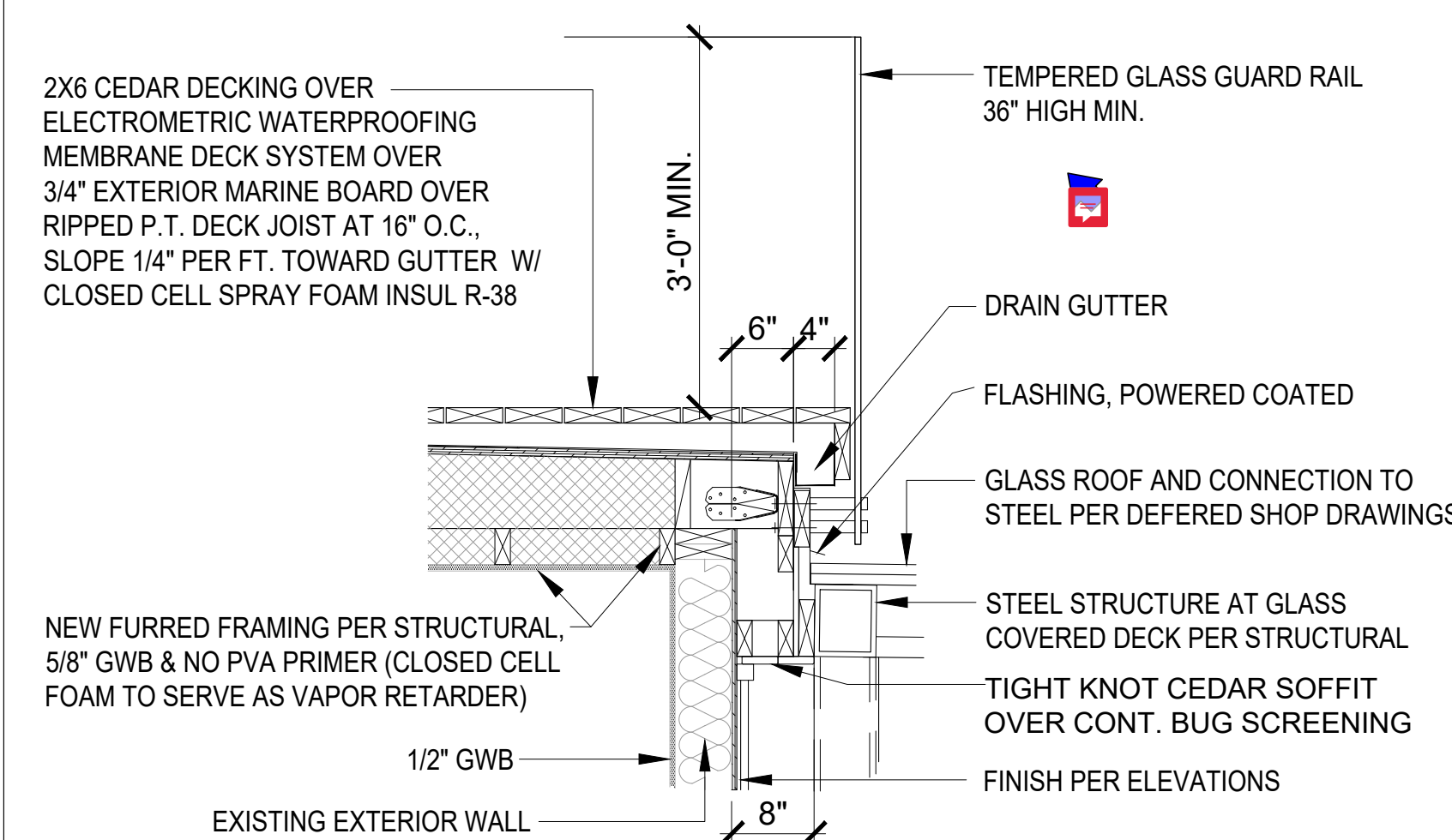
DATE: 12-22-2020

PLOT SCALE: 1:1

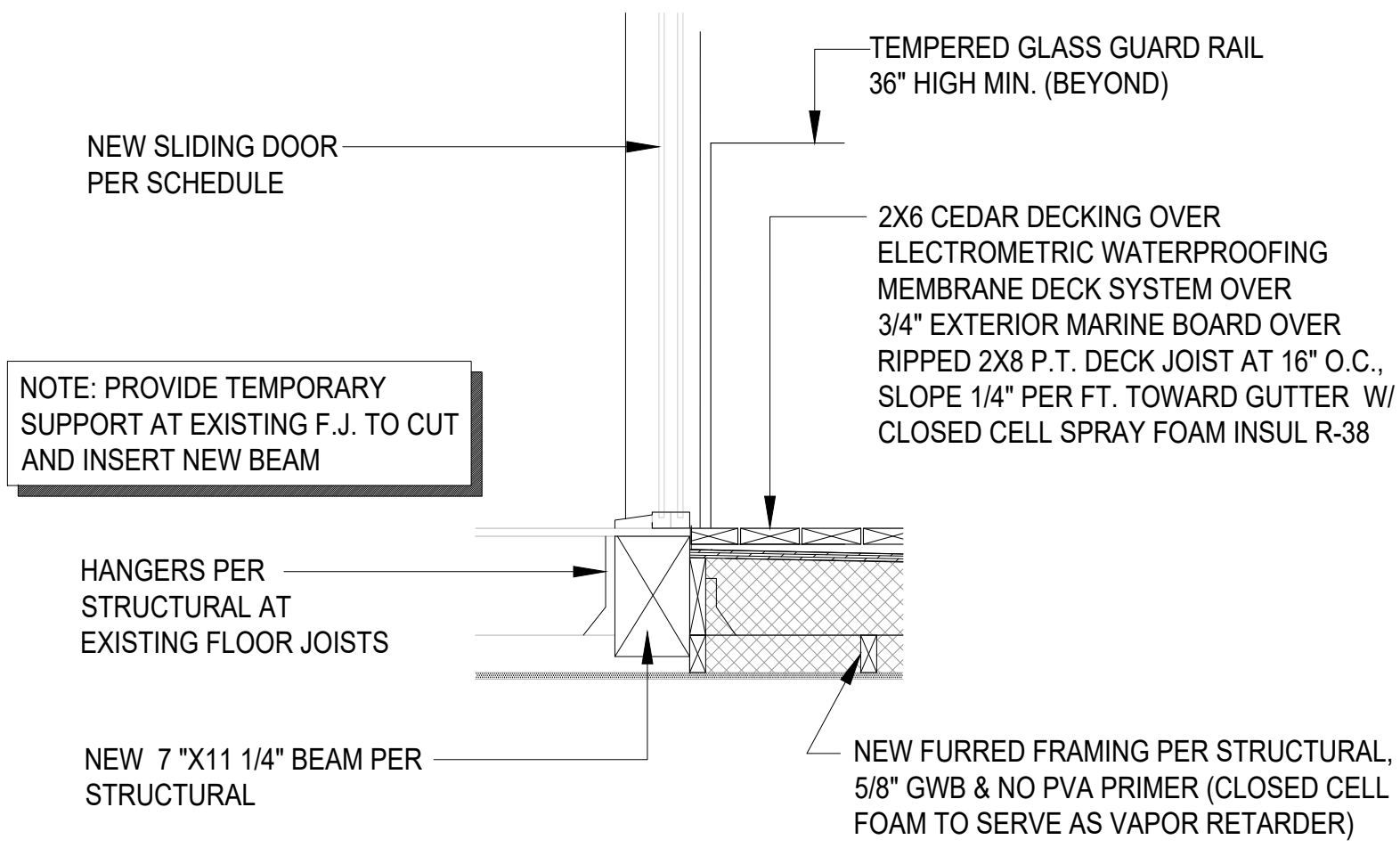
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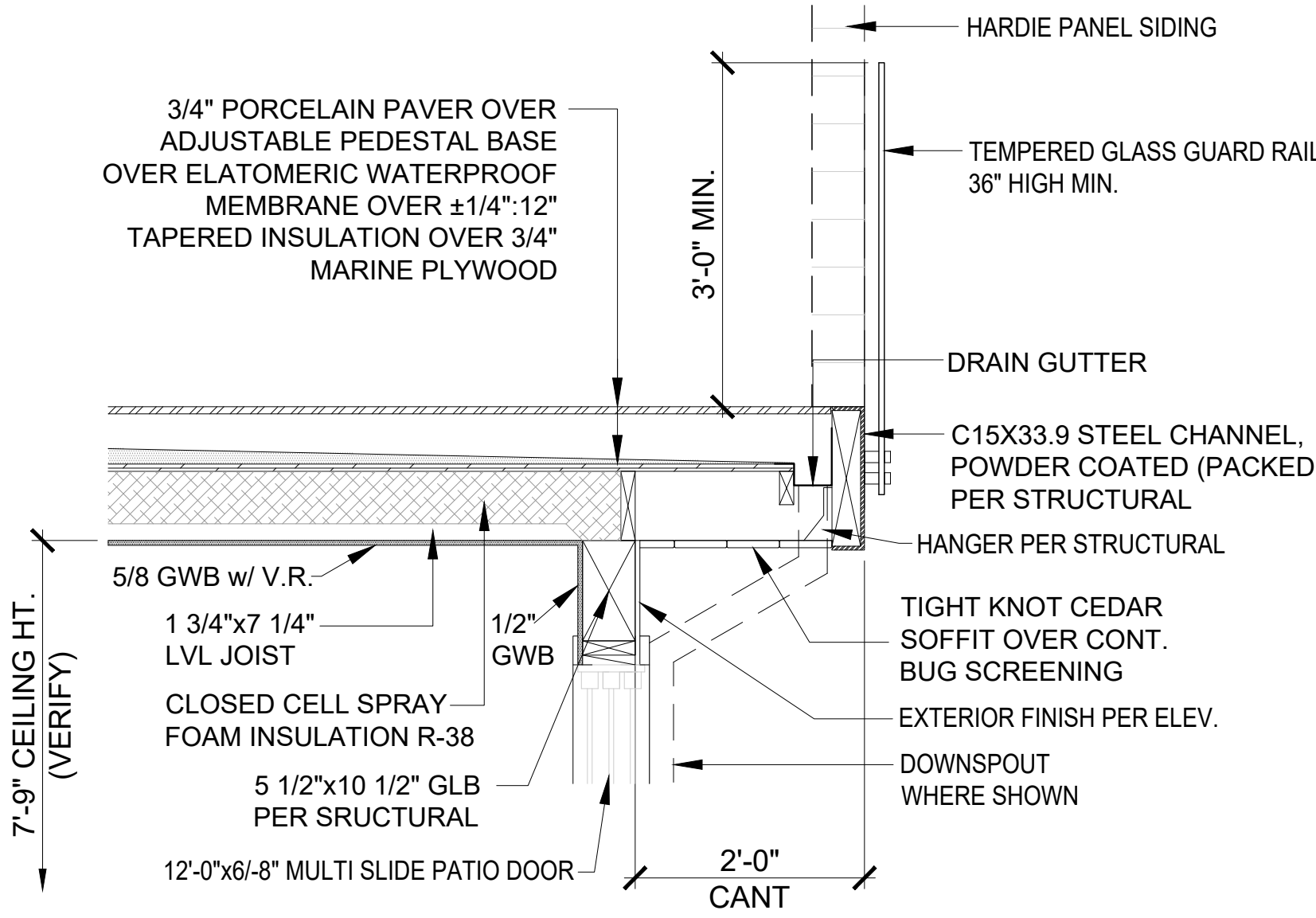
**4 GLASS COVERED DECK STRUCTURE DETAIL**  
SCALE: 3/4" = 1'-0"



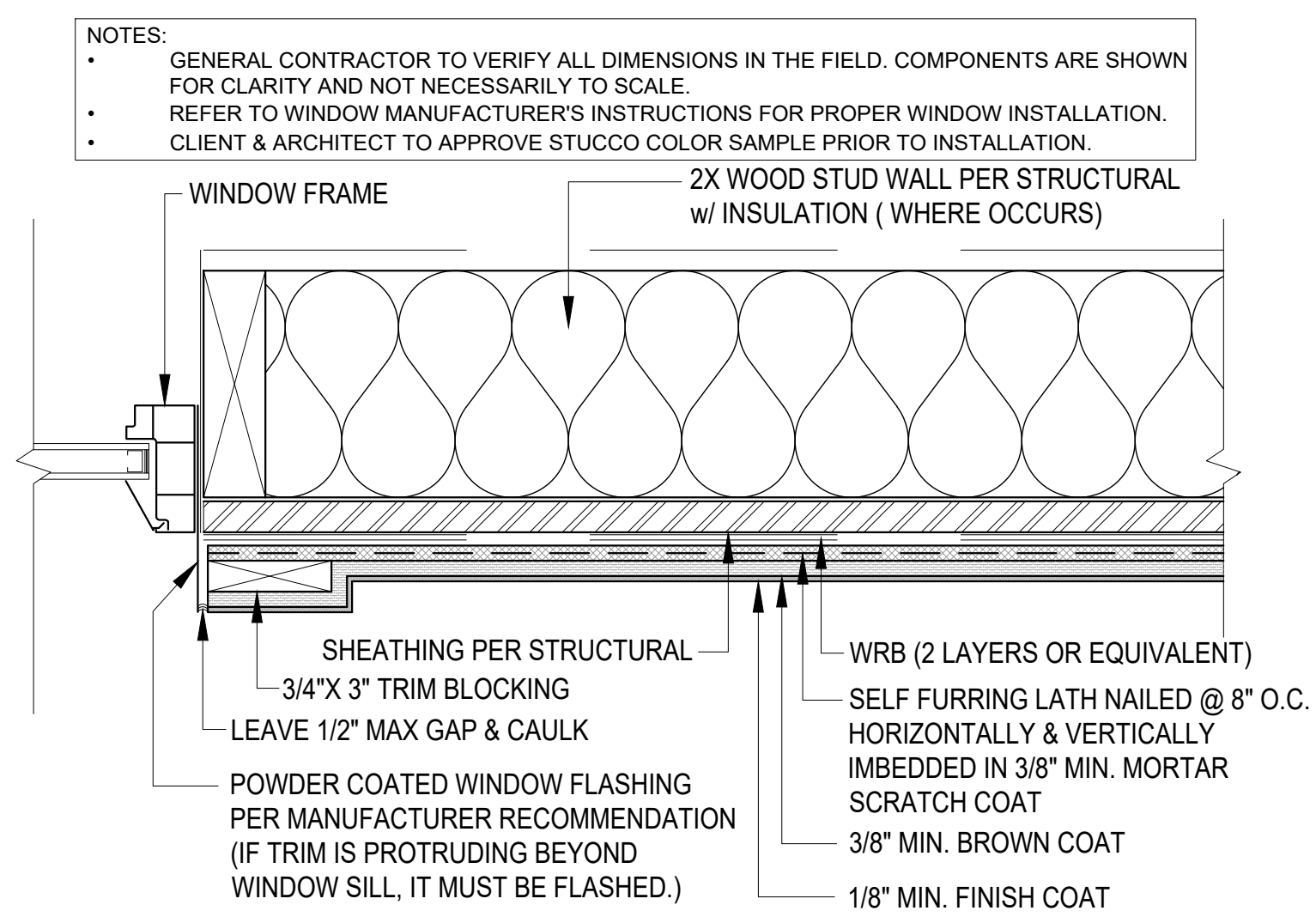
**3 MASTER BEDROOM DECK / GLASS COVERED DECK**  
SCALE: 3/4" = 1'-0"



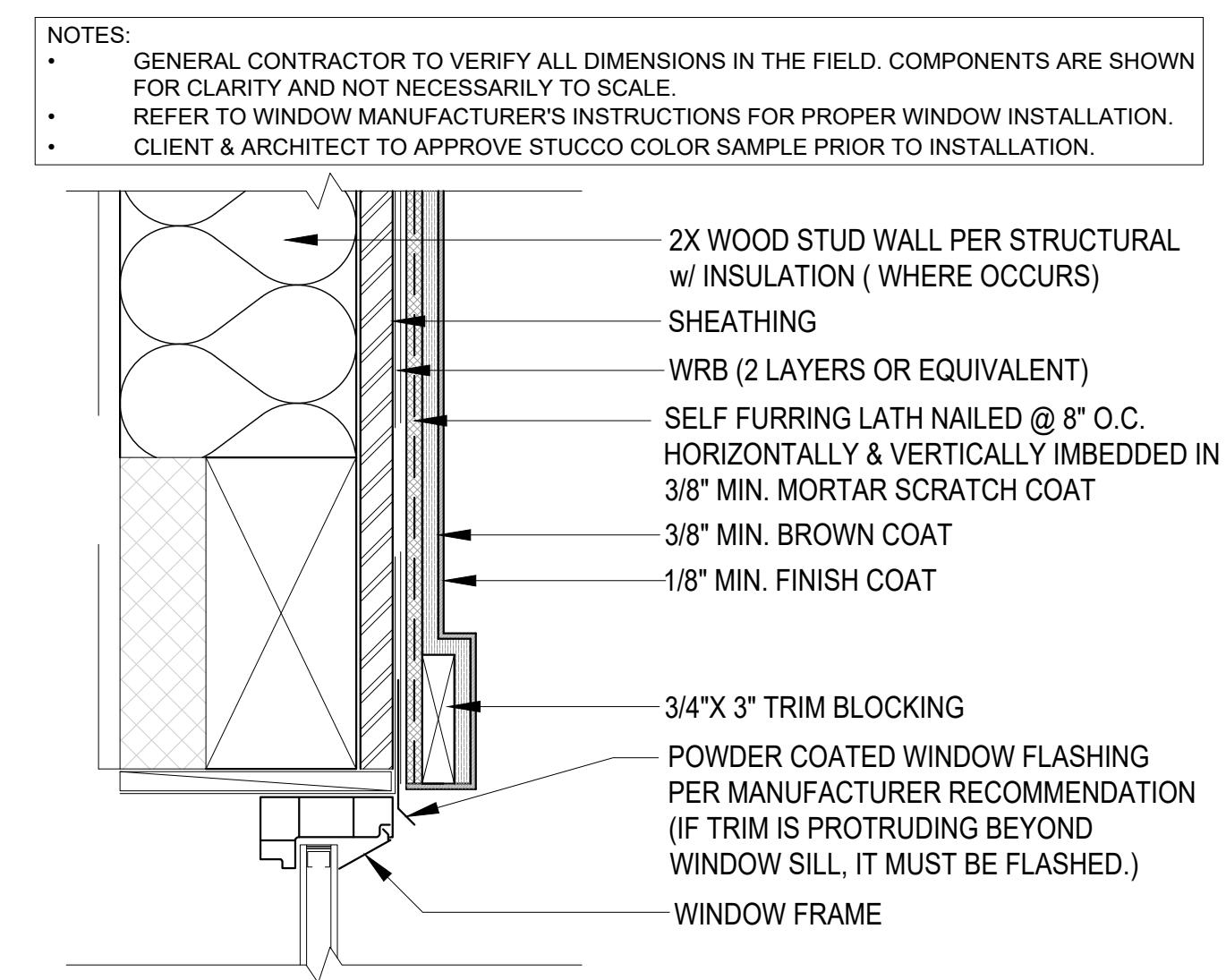
**2 MASTER BEDROOM WALK OUT DECK**  
SCALE: 3/4" = 1'-0"



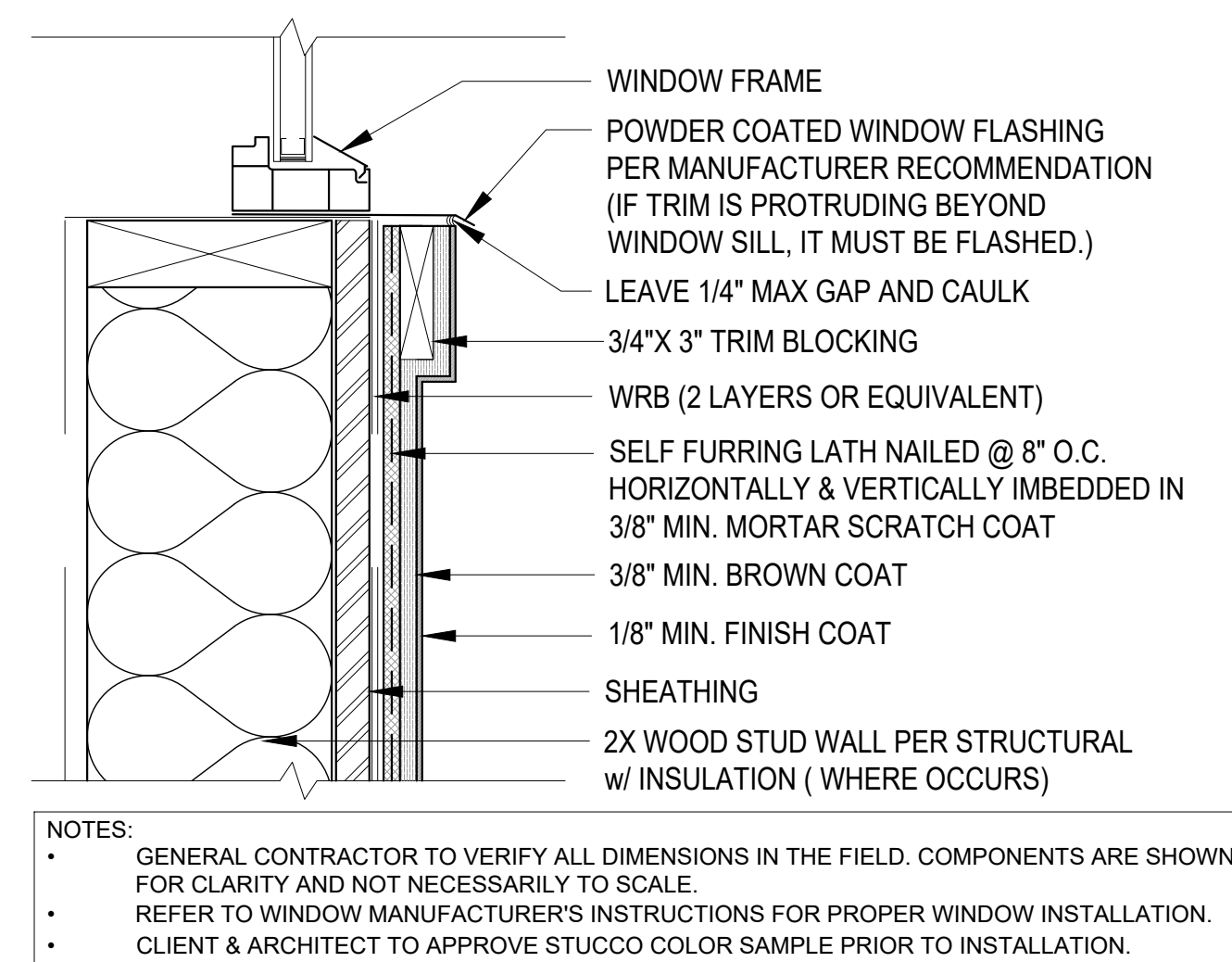
**1 1st FLOOR DECK & RAILING**  
SCALE: 3/4" = 1'-0"



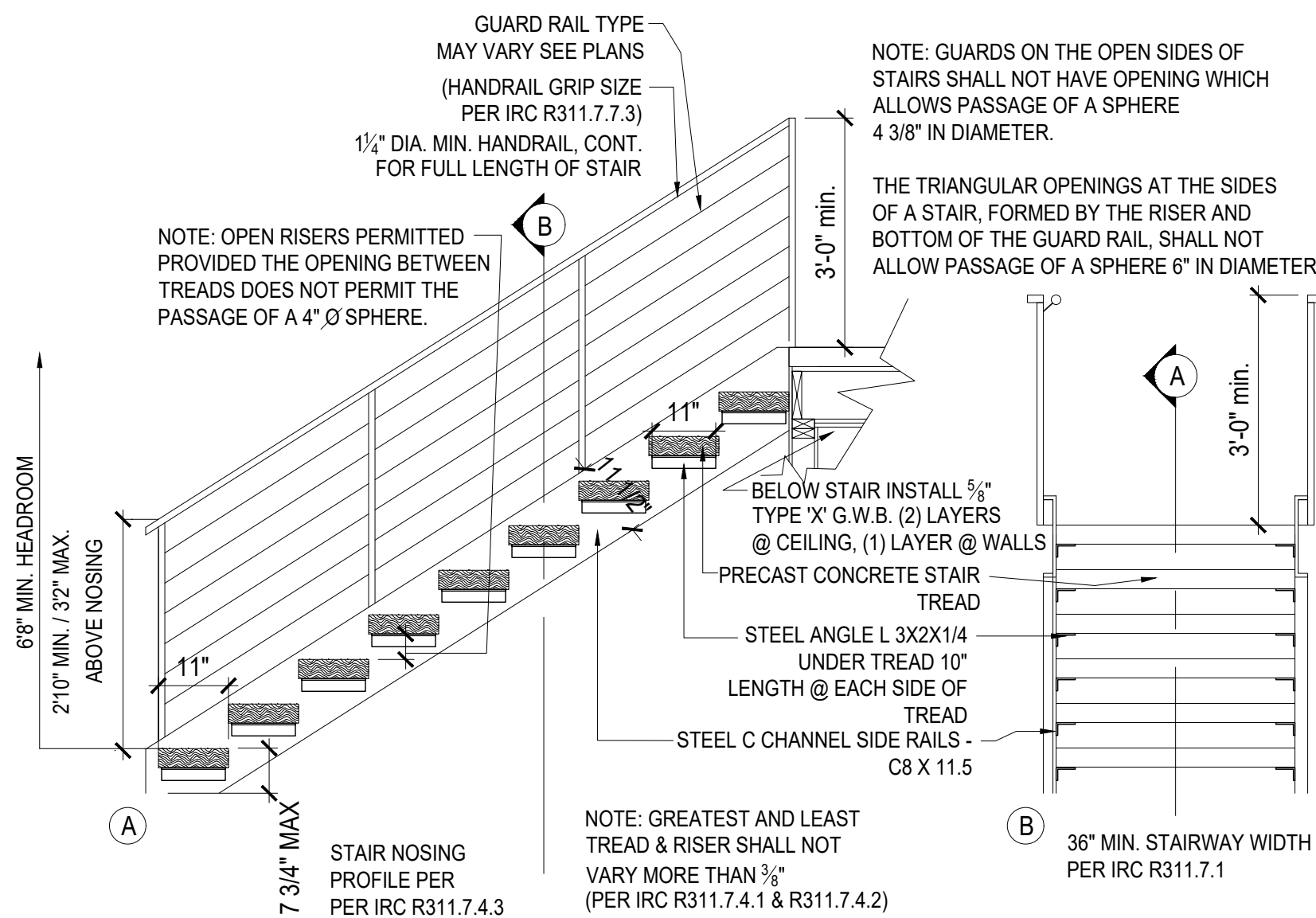
**8 WINDOW JAMB @ STUCCO**  
SCALE: 3" = 1'-0"



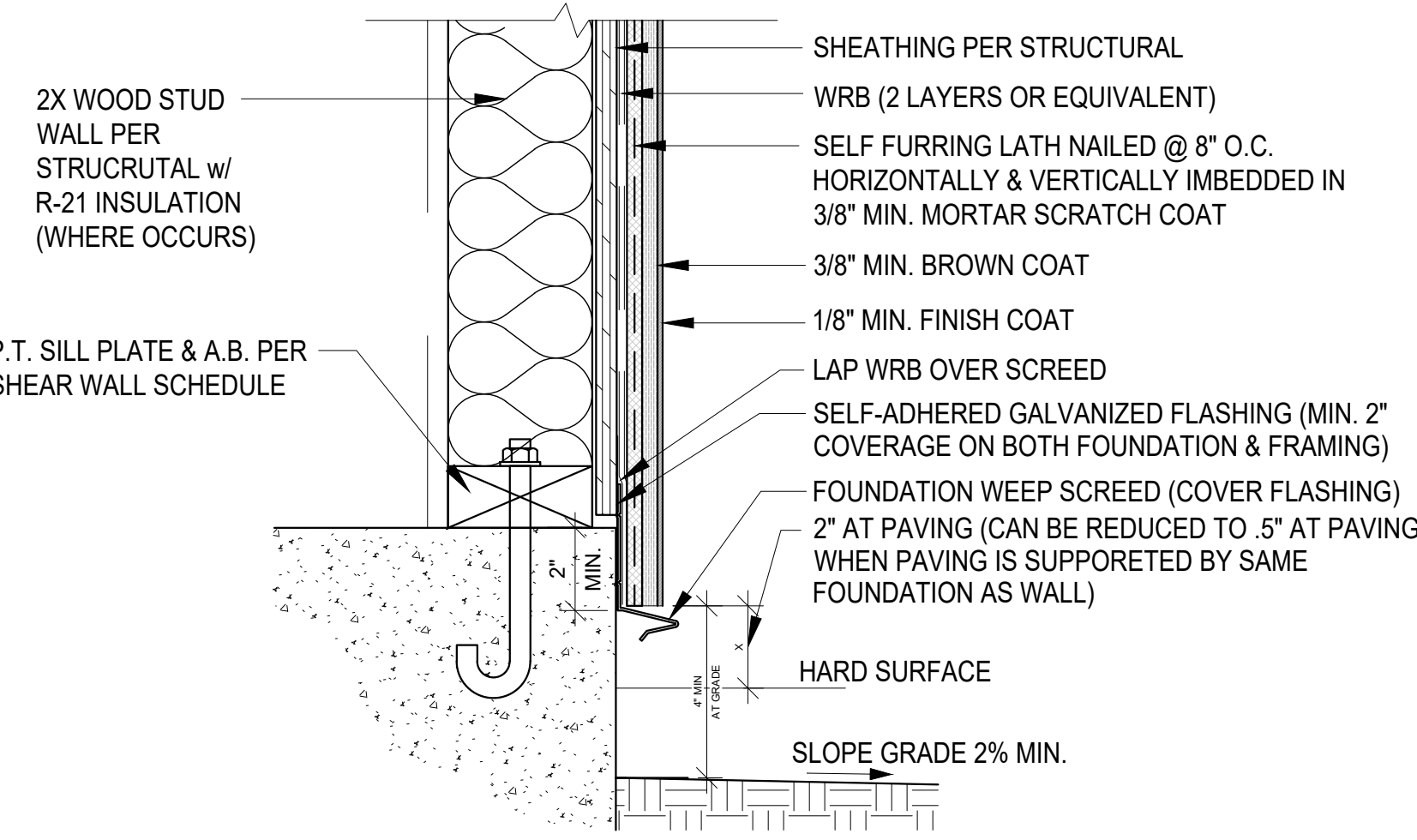
**7 WINDOW HEAD @ STUCCO**  
SCALE: 3" = 1'-0"



**6 WINDOW SILL @ STUCCO**  
SCALE: 3" = 1'-0"



**5 STAIRS @ EXTERIOR DECK**  
SCALE: 1/2" = 1'-0"



**9 STUCCO @ FOUNDATION**  
SCALE: 3" = 1'-0"

**12 XXX**  
SCALE: 1" = 1'-0"

**11 XXX**  
SCALE: 1" = 1'-0"

**10 XXX**  
SCALE: 1" = 1'-0"

**9 STUCCO @ FOUNDATION**  
SCALE: 3" = 1'-0"

**16 XXX**  
SCALE: 1" = 1'-0"

**15 XXX**  
SCALE: 1" = 1'-0"

**14 XXX**  
SCALE: 1" = 1'-0"

**13 XXX**  
SCALE: 1" = 1'-0"

**8 WINDOW JAMB @ STUCCO**  
SCALE: 3" = 1'-0"

**7 WINDOW HEAD @ STUCCO**  
SCALE: 3" = 1'-0"

**6 WINDOW SILL @ STUCCO**  
SCALE: 3" = 1'-0"

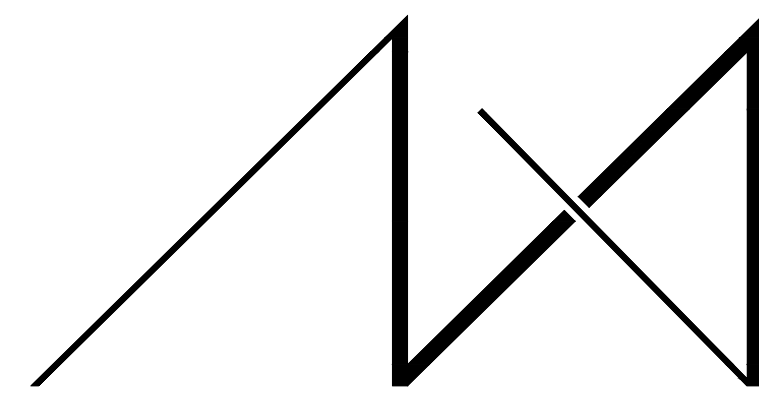
**5 STAIRS @ EXTERIOR DECK**  
SCALE: 1/2" = 1'-0"

**4 GLASS COVERED DECK STRUCTURE DETAIL**  
SCALE: 3/4" = 1'-0"

**3 MASTER BEDROOM DECK / GLASS COVERED DECK**  
SCALE: 3/4" = 1'-0"

**2 MASTER BEDROOM WALK OUT DECK**  
SCALE: 3/4" = 1'-0"

**1 1st FLOOR DECK & RAILING**  
SCALE: 3/4" = 1'-0"



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**PARCEL # 082405-9027**

DRAWING NAME:

**DETACHED GARAGE CONSTRUCTION PLAN**

Drawn By: JMG, RB  
Checked By: EB  
Owner Approval:

PHASE:

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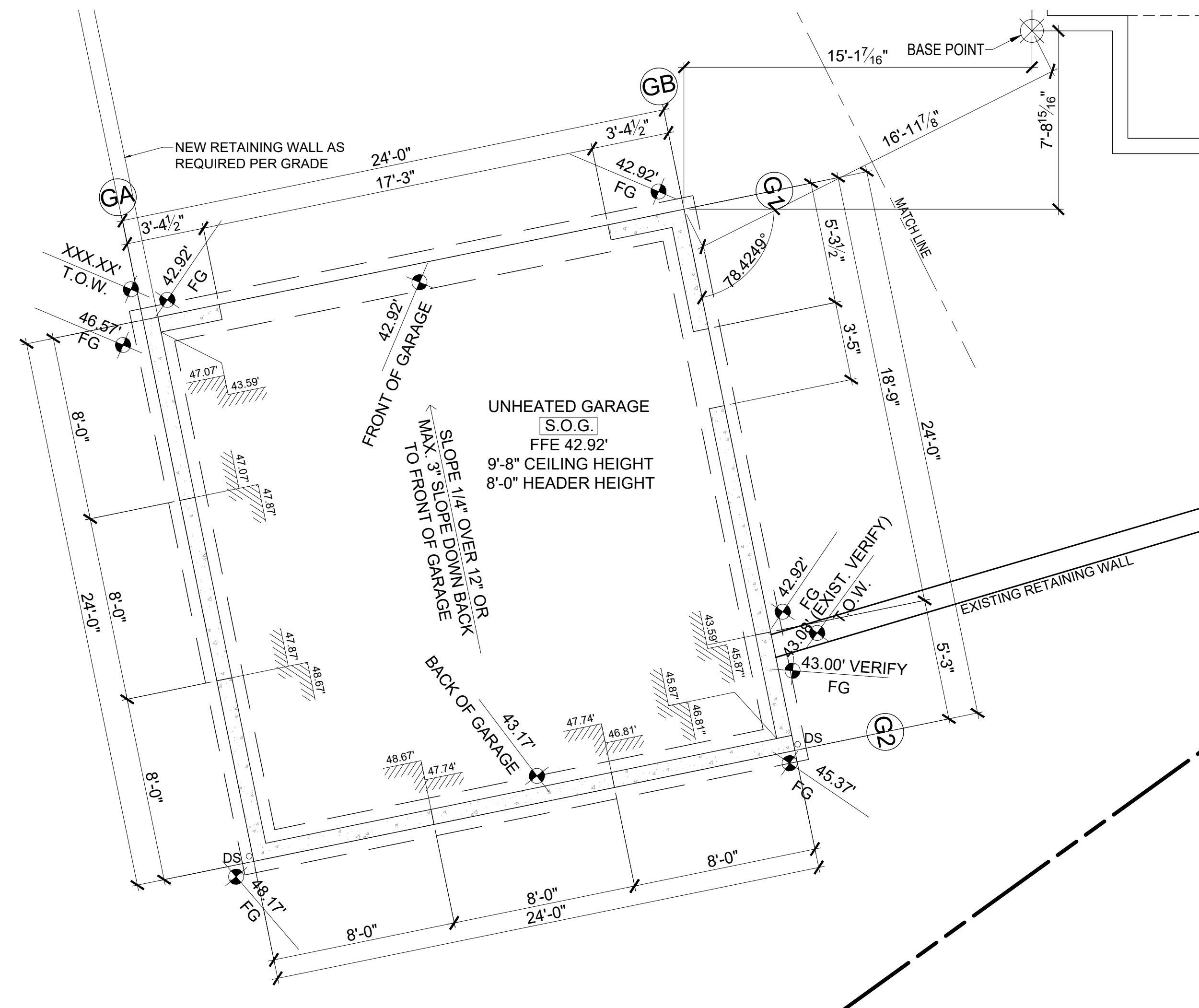
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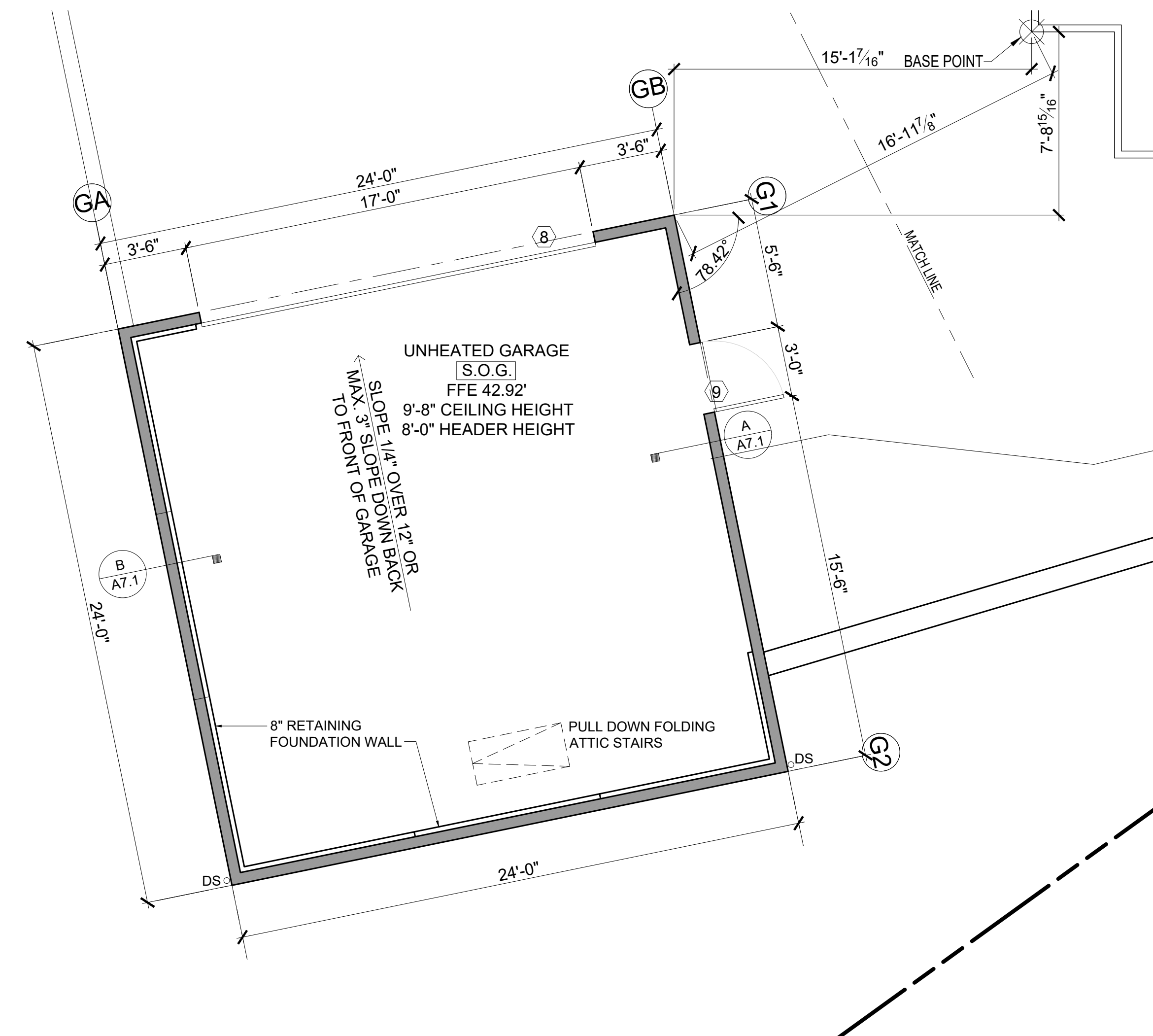
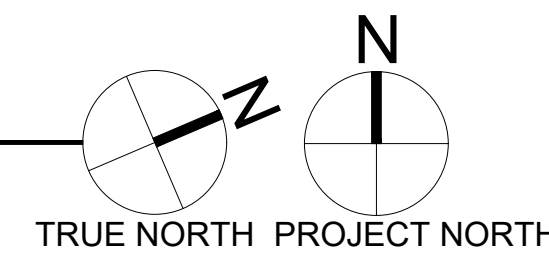
PLOT SCALE: 1:1

**A7.0**



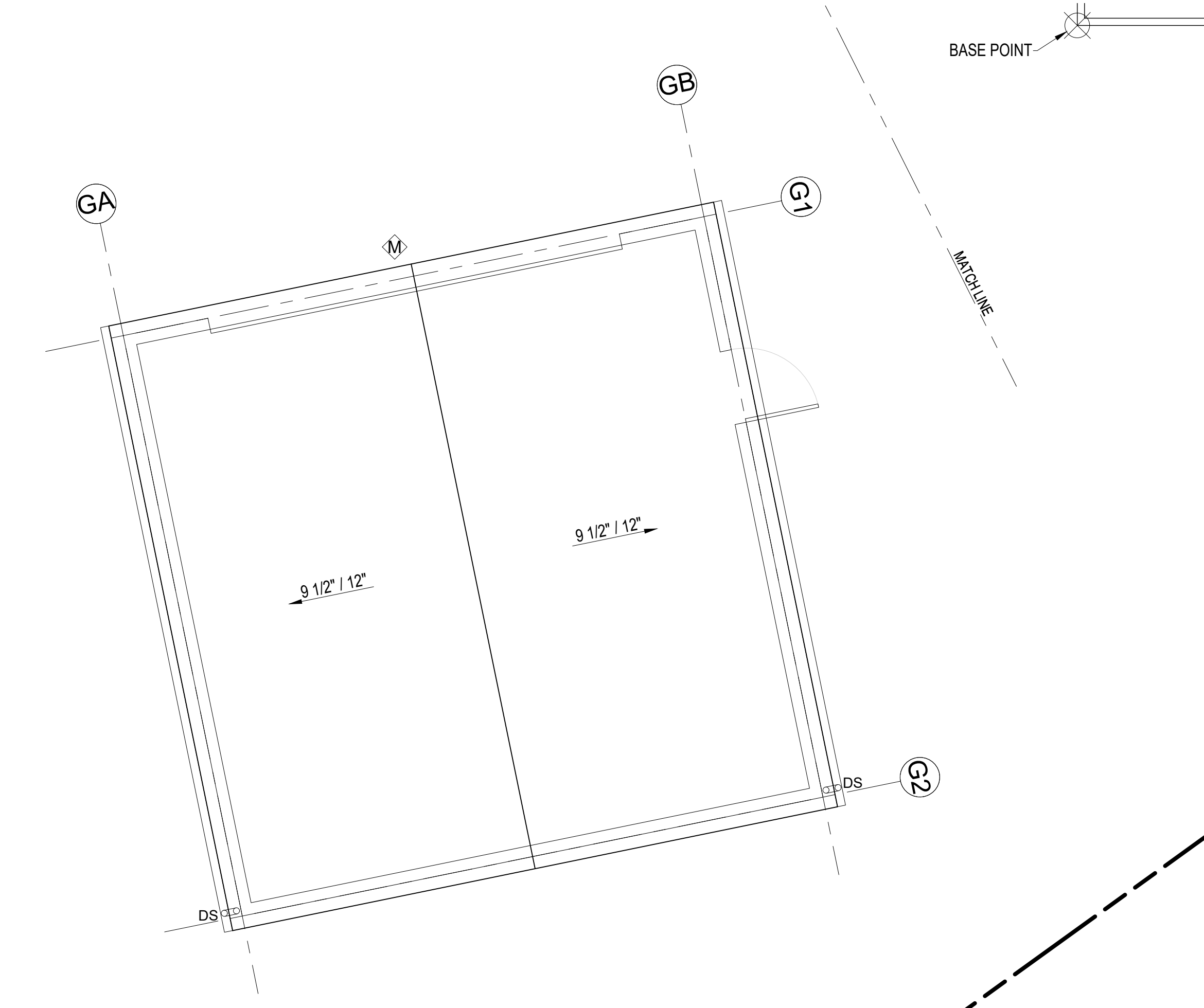
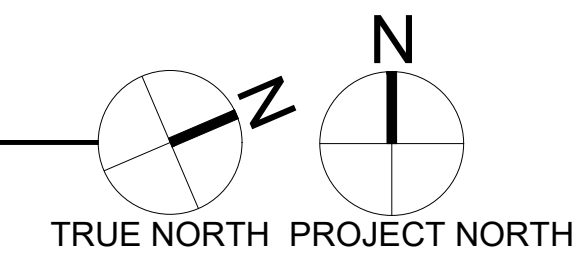
**DETACHED GARAGE FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"



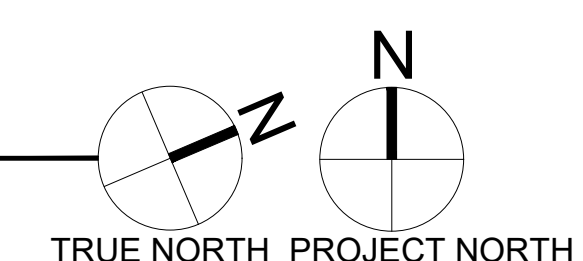
**DETACHED GARAGE FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**DETACHED GARAGE ROOF PLAN**

SCALE: 1/4" = 1'-0"



| ROOF - VENTILATION CALCULATION           |       |                              |       |             |
|--|-------|------------------------------|-------|-------------|
| Detached Garage - Roof trusses           |       |                              |       |             |
| Roof Area:                               | 533.0 | s.f.                         |       |             |
| Ventilation Required:                    | 533.0 | s.f. x 144 s.i. / 300"=      | 255.8 | s.i. Req'd  |
| Proposed Ventilation :                   |       |                              |       |             |
| SmartVent Shingle vent (upper or ridge)  | 4.5   | s.i. nfa / l.f.=             | 4.5   | s.i. / l.f. |
| Provide :                                | 28.0  | l.f. Upper Ventilation =     | 126.0 | s.i.        |
| SmartVent Shingle vent (lower roof edge) | 4.5   | s.i. nfa / l.f. =            | 4.5   | s.i.        |
| Provide:                                 | 30.0  | l.f. Eave Edge Ventilation = | 135.0 | s.i.        |
| Total Ventilation Provided               | 261.0 | s.i. IS GREATER THAN         | 255.8 | s.i. Req'd  |

**FLOOR PLAN NOTES**

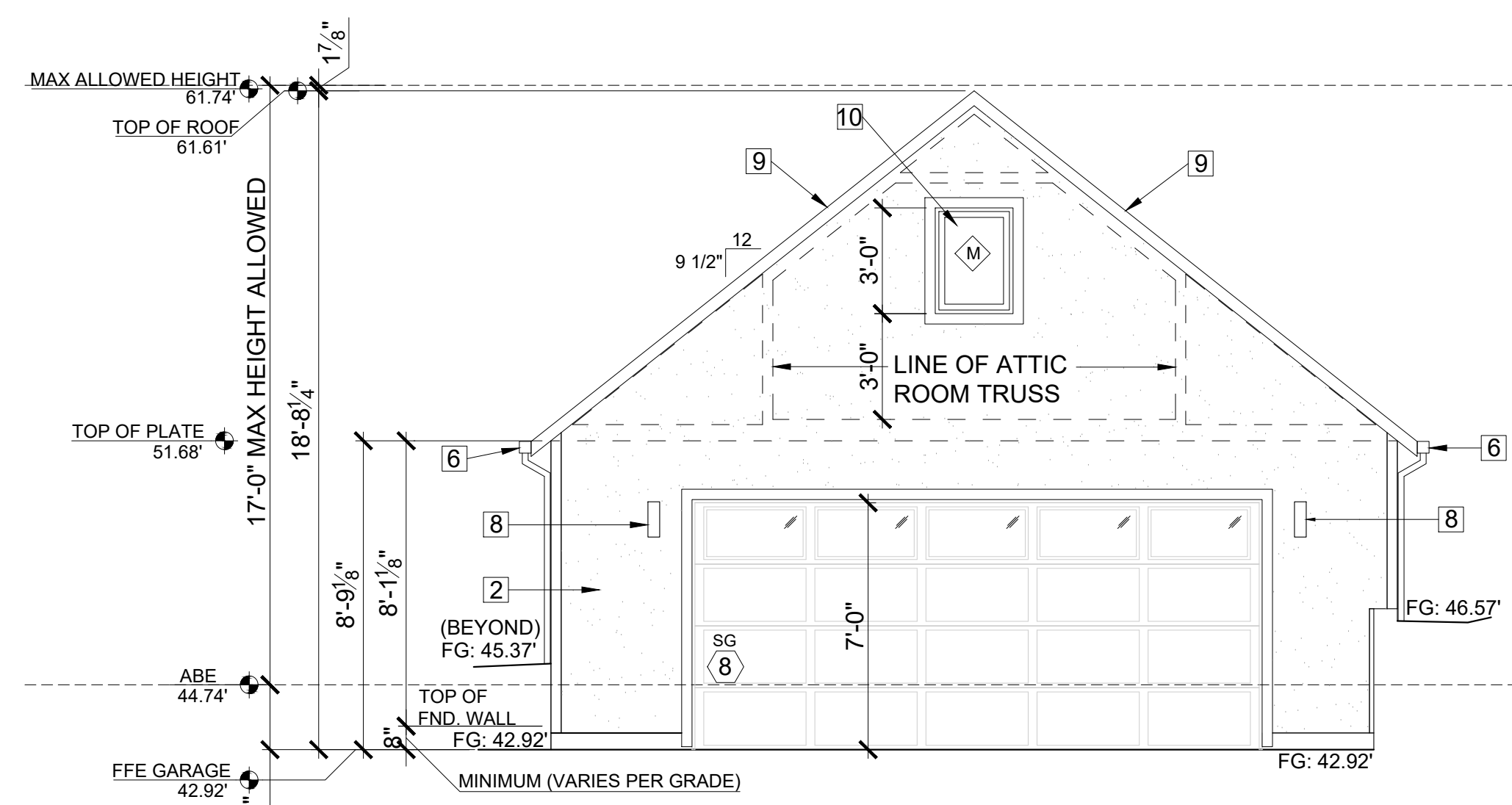
1. CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. ALL POSTS, BEAMS & HEADERS SEE STRUCTURAL DRAWINGS.
3. WINDOWS & DOORS ARE SHOWN & NOTED AS NOMINAL SIZES. REFER TO SHEET A4.0 WINDOW AND DOOR SIZES.
4. DOOR JAMB 4.5" U.N.O.
5. SEE ELEVATIONS SHEETS A7.1 FOR WINDOW & DOOR HEADER HEIGHTS ABOVE FINISHED FLOOR.
6. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
7. EXTERIOR WALLS TO BE 2x4 STUDS @ 16" O.C. U.N.O.
8. INSTALL SIMPSON CONG. TO WOOD HOLD-DOWNS PER STRUCTURAL DRAWINGS, ALSO SEE MANUFACTURER'S SPECS.
9. SEE SHEET A0.1 FOR ADDITIONAL NOTES.
10. FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1.

**SYMBOL LEGEND**

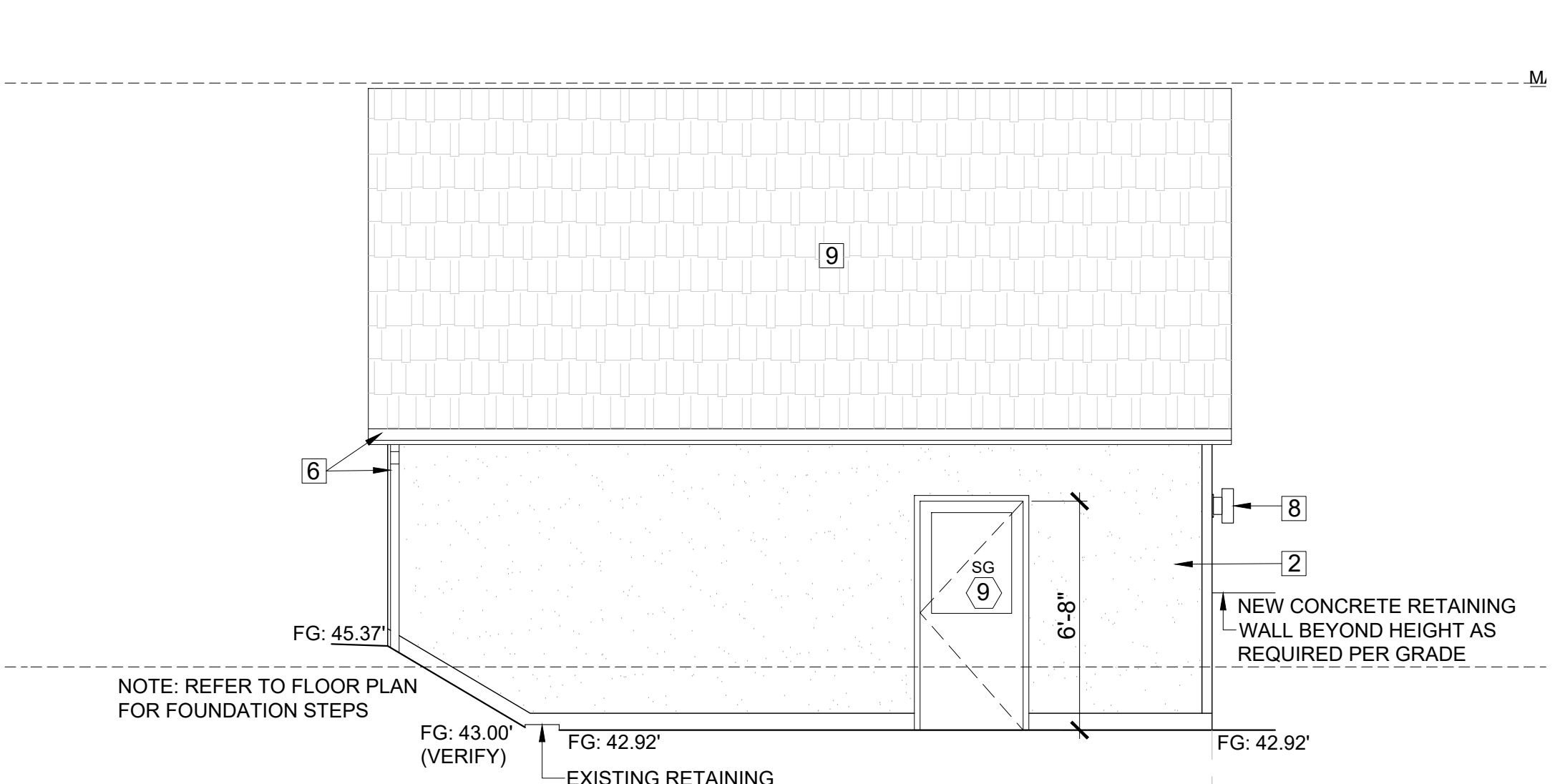
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- DOORS
- WINDOWS
- 2X WALLS
- BRICK WALLS
- POST - VERIFY SIZE AND TYPE WITH STRUCTURAL PLAN

**ELEVATIONS NOTES & KEY NOTES:**

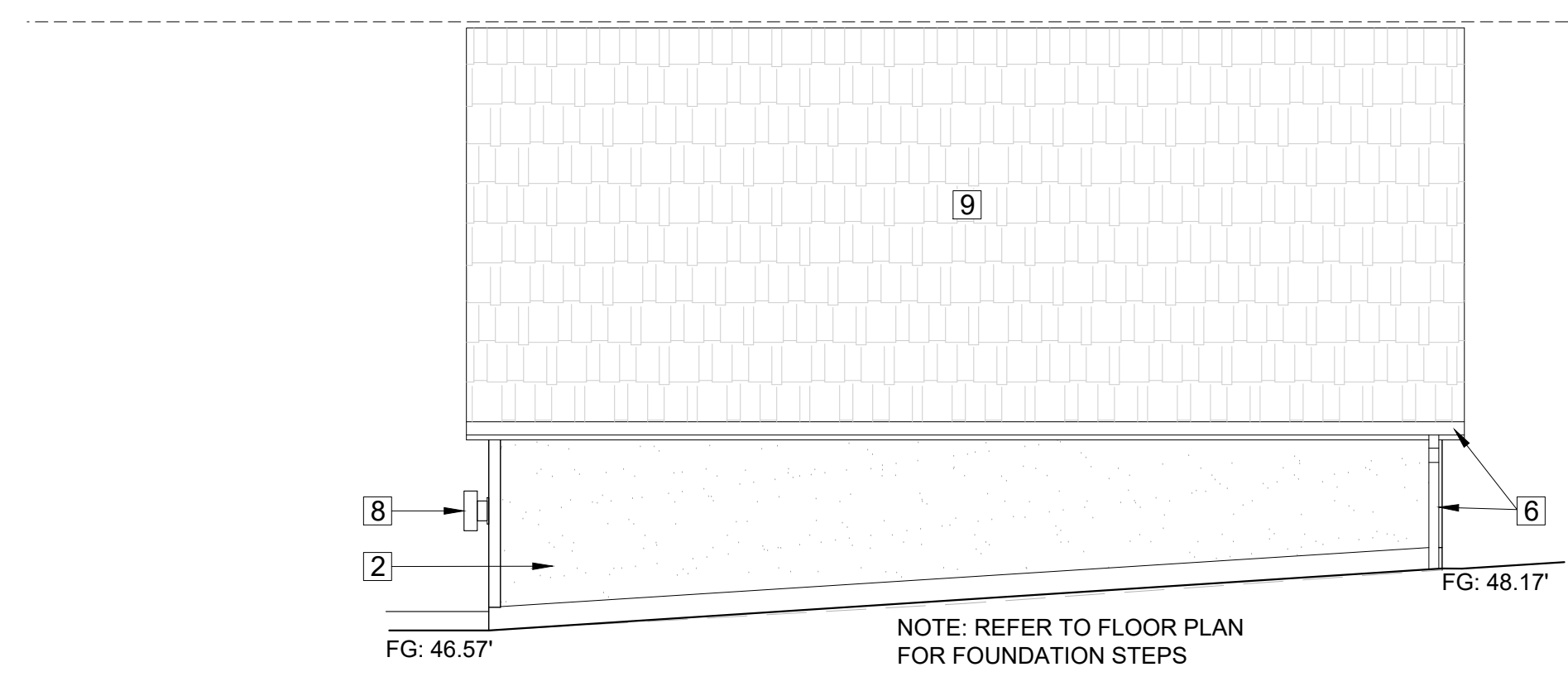
1. VERIFY SHEAR WALL NAILING & HOLD-DOWNS PER STRUCTURAL PLAN & SCHEDULE PRIOR TO INSTALLING SIDING.
2. STUCCO VENEER: 3-COAT PORTLAND CEMENT STUCCO SHALL HAVE A SCRATCH, BROWN AND FINISH COATS OF PORTLAND CEMENT EXTERIOR PLASTER PER IRC SECTION R703.6.2; SAND FINISH COAT WITH INTEGRAL COLOR, OVER EXTERIOR METAL LATH PER IRC SECTION R703.6.1. TOTAL THICKNESS APPROXIMATELY 7/8". PROVIDE WEEP SCREEDS PER IRC SECTION R703.6.2.1
3. CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
4. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R703.4.
5. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE FLASHING AT ROOF PENETRATIONS PER I.R.C. R903.2 & R903.2.1.
6. AT NEW AND REMODELED CONSTRUCTION AREAS PROVIDE PRE FINISHED CONTINUOUS ALUMINUM GUTTERS, SCUPPER AND DOWN SPOUTS - COLOR TO MATCH ADJACENT EXTERIOR MATERIAL FINISH. DIRECT CONNECT FOOTING DRAINS AND DOWN SPOUTS PER CIVIL DRAWINGS.
7. SEE SHEET A0.1 FOR ADDITIONAL NOTES.
8. LIGHTING AT EXTERIOR DOORS, TYP.
9. MATCH EXISTING SHAKE ROOF AND FINISH TO MATCH, INSTALL PER INDUSTRY STANDARDS.
10. WINDOWS: (CLIMATE ZONE 4C OF THE 2015 WSEC TABLE R402.1.1) ALL WINDOWS SHALL BE DOUBLE-PANED MINIMUM, PERFORMANCE AND CONSTRUCTION TO CONFORM WITH IRC SECTION R612. HARDWARE FINISH SHALL MATCH DOOR HARDWARE. ALL CASEMENT OPENINGS SHALL HAVE ROTO HARDWARE. ALL OPENINGS WEATHER-STRIPPED BY MANUFACTURER; GENERAL CONTRACTOR SHALL INSTALL "Z"-FLASHING AT HEADS OF ALL WINDOWS AND SEAL WINDOW PERIMETER PER MANUFACTURER'S SPECIFICATIONS.



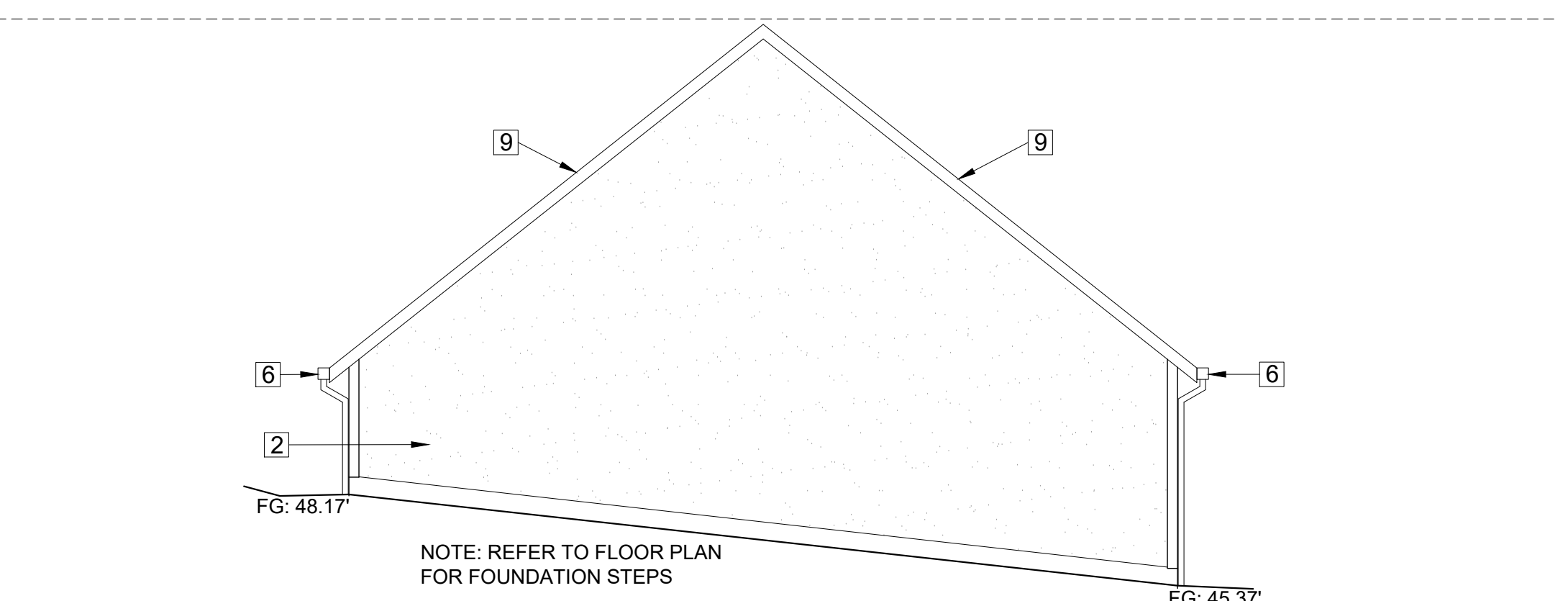
**DETACHED GARAGE PROJECT NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



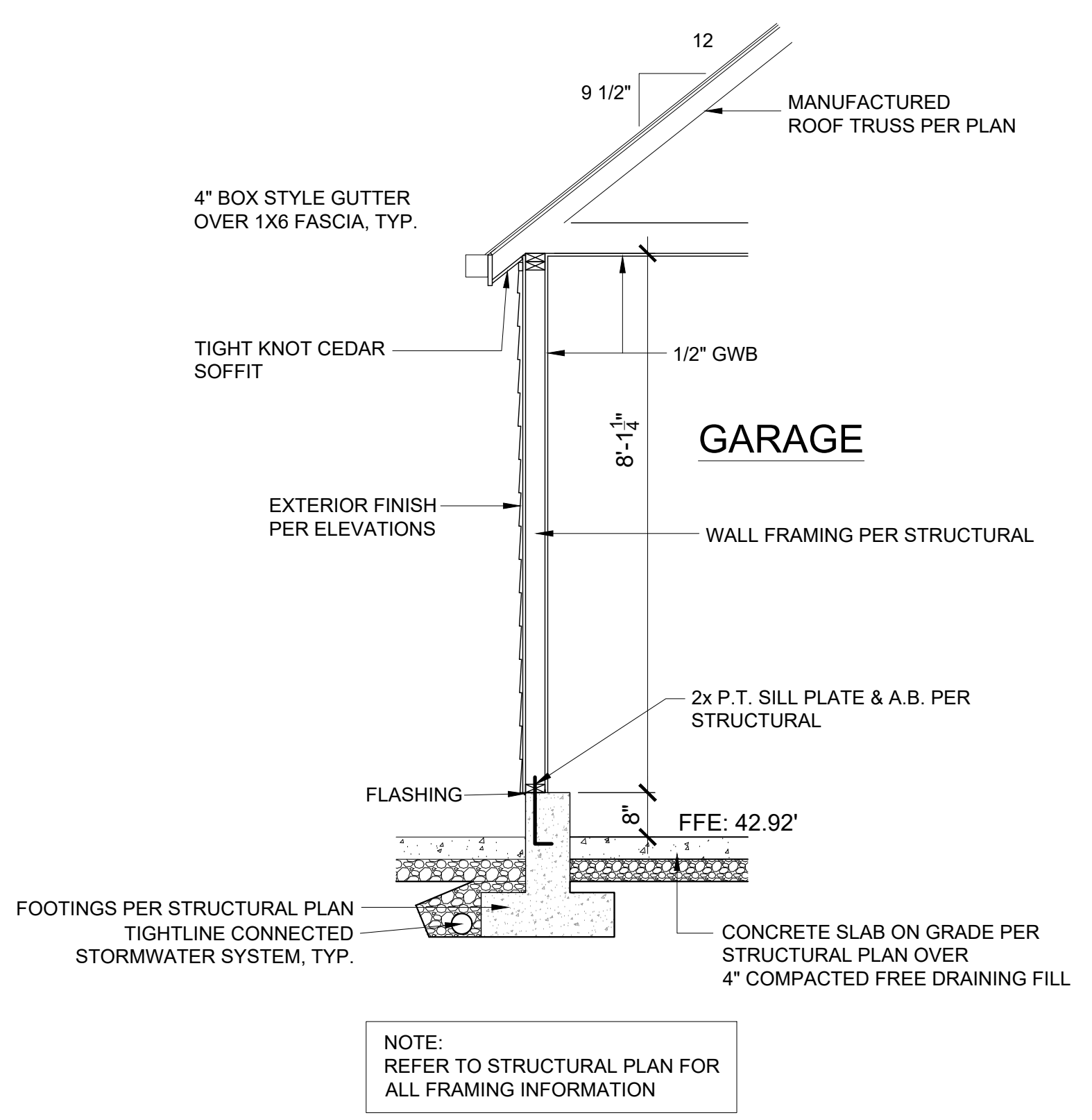
**DETACHED GARAGE PROJECT EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



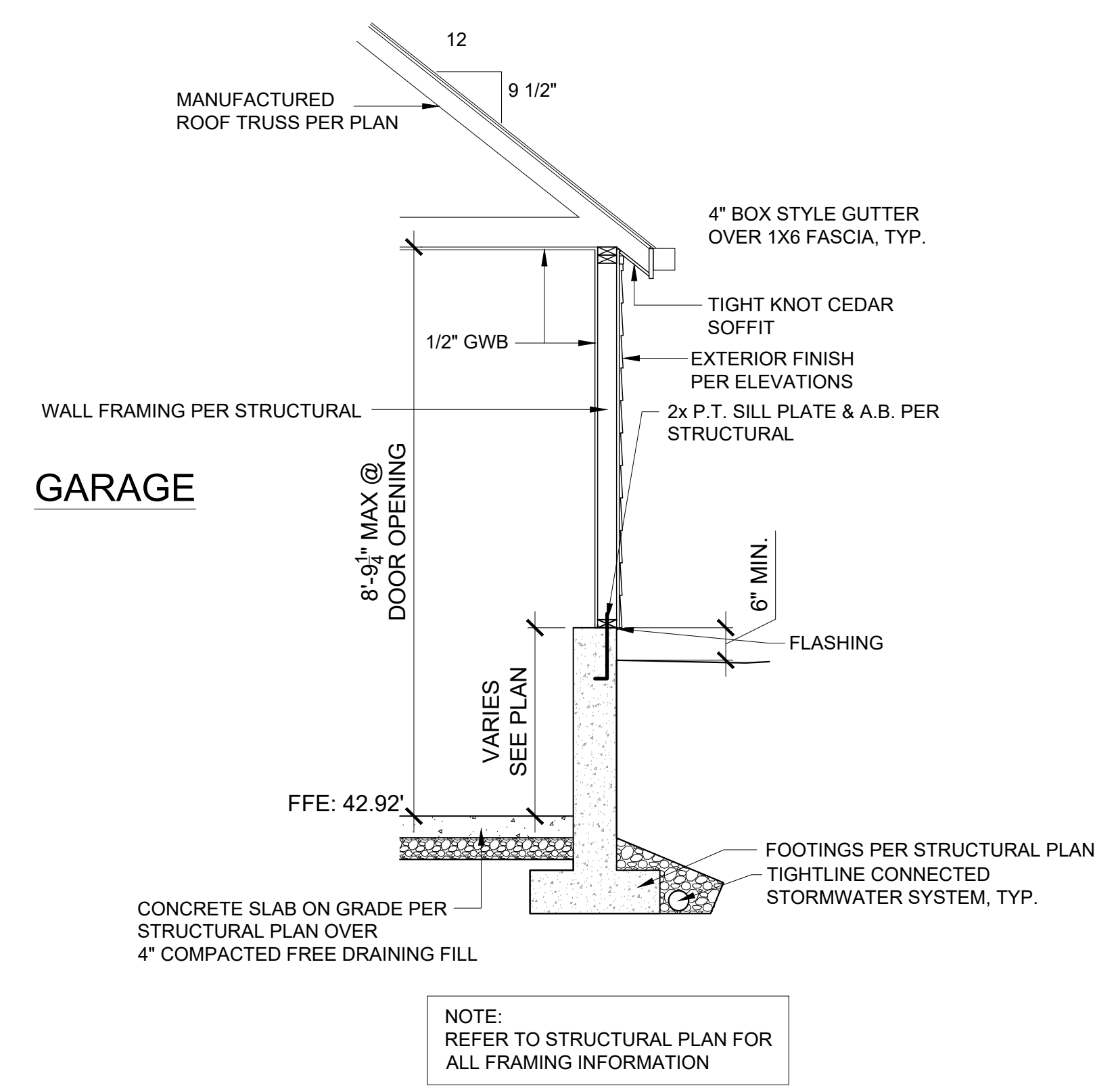
**DETACHED GARAGE PROJECT WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



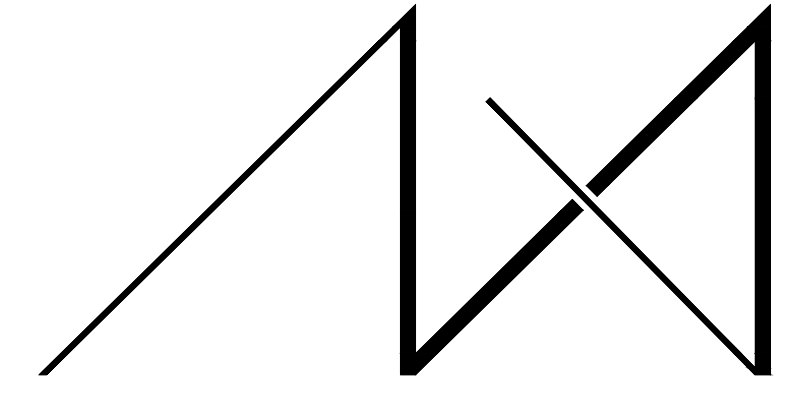
**DETACHED GARAGE PROJECT SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**A DETACHED GARAGE WALL SECTION**  
SCALE: 1/2" = 1'-0" @ FULL HEIGHT FRAMED WALL



**B DETACHED GARAGE WALL SECTION**  
SCALE: 1/2" = 1'-0" @ RETAINING WALL FOUNDATION

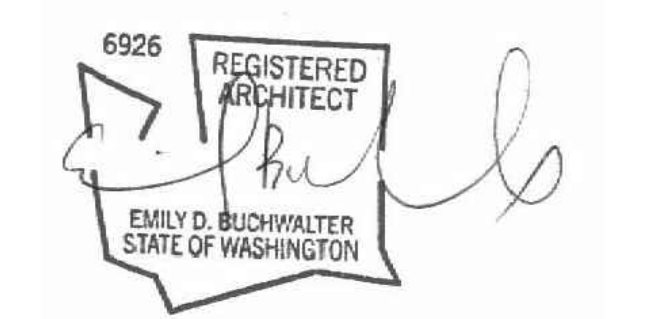


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|------------|-------|
| 1.         |       |
| 2.         |       |
| 3.         |       |
| 4.         |       |
| 5.         |       |

PROJECT / CLIENT:

**9820 SE 35TH PLACE**  
ACHIN & MARY CHEN  
9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040

JOB ADDRESS:

9820 SE 35TH PLACE  
MERCER ISLAND, WA 98040  
**PARCEL # 082405-9027**

DRAWING NAME:

**DETACHED GARAGE ELEVATIONS**

Drawn By: JMG, RB  
Checked By: EB  
Owner Approval:

PHASE:

**CONSTRUCTION DOCUMENTS**

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APPROVED FOR CONSTRUCTION:

PROJECT No.: 2020 007  
DATE: 12-22-2020

PLOT SCALE: 1:1

**A7.1**

**GENERAL STRUCTURAL NOTES**

(THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE PLANS.)

**A. GENERAL**

- 1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION FOR NEW CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (IBC), 2015 EDITION.
- 2. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL DEVICES.
- 3. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.
- 4. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCE. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
- 4.1 ALL OPENINGS THROUGH EXISTING CONCRETE WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING AND/OR CORING WHEREVER POSSIBLE. SAW CUT TO TERMINATE AT CORING AT CORNERS OF OPENINGS. DO NOT OVERCUT CORNERS.
- 4.2 CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.
- 4.3 SMALL ROUND OPENINGS THROUGH CONCRETE SHALL BE ACCOMPLISHED BY CORE DRILLING IF POSSIBLE.
- 4.4 WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DOWEL BARS SHALL BE DRILLED AND EPOXED INTO EXISTING CONCRETE TO MATCH NEW HORIZONTAL REINFORCING AS NOTED ON PLANS.

- 5. CONTRACTOR SHALL CHECK FOR DRYROT AT ALL EXTERIOR WALLS, EXISTING TOILET ROOM FLOORS AND WALLS, AREAS SHOWING WATER STAINS, AND ALL WOOD MEMBERS IN THE BASEMENT AND CRAWL SPACES. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.
- 6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS OF THE NEW CONSTRUCTION UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. THE CONTRACTOR SHALL ALSO PROVIDE TEMPORARY BRACING AND SHORING OF THE EXISTING BUILDING(S) IN WHICH PORTIONS OF THE EXISTING STRUCTURE ARE TO BE REMOVED OR MODIFIED. THIS TEMPORARY BRACING AND SHORING SHALL REMAIN IN PLACE UNTIL NEW CONSTRUCTION AND/OR STRUCTURAL MODIFICATIONS ARE COMPLETED. THE CONTRACTOR SHALL DESIGN, PROVIDE MATERIALS FOR AND INSTALL (AND REMOVE IF NECESSARY) SUCH TEMPORARY WORK.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM HIS WORK. STRUCTURAL DESIGN OF THE BUILDING IS BASED ON RESISTANCE TO DEAD LOADS, CODE SPECIFIED LATERAL LOADS, AND MAXIMUM EXPECTED SERVICE LOADS. NO CONSIDERATION HAS BEEN GIVEN TO LOADS WHICH WILL BE INDUCED BY ERECTION PROCEDURES. THE CONTRACTOR SHALL VERIFY, TO THE SATISFACTION OF HIM/HERSELF AND THE OWNER, THE ABILITY OF THE STRUCTURE TO RESIST ALL ERECTION LOADS WITHOUT EXCEEDING THE ALLOWABLE STRESSES OF THE MATERIALS USED. WHERE ERECTION LOADS WOULD OVERSTRESS THE STRUCTURE, THE CONTRACTOR SHALL SUBMIT DESIGN DOCUMENTS FOR TEMPORARY BRACING AND STRENGTHENING, INCLUDING FABRICATION AND ERECTION DRAWINGS, TO THE ARCHITECT FOR REVIEW. THESE DOCUMENTS SHALL BEAR THE SEAL AND SIGNATURE OF A REGISTERED STRUCTURAL ENGINEER IN THE STATE OF WASHINGTON. THE CONTRACTOR SHALL PROVIDE, INSTALL AND IF NECESSARY REMOVE SUCH TEMPORARY WORK AS REQUIRED.

- 8. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 9. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED, BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.
- 10. ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- 11. INSPECTIONS: INSPECTIONS OF THE WOOD FRAMING, THE STEEL REBAR AND WOOD FORMS FOR CONCRETE FOOTINGS & FOUNDATIONS, AND CONCRETE SLABS ARE REQUIRED PER IBC SECTION 110.3.
- 12. SHOP DRAWINGS FOR REINFORCING STEEL, STRUCTURAL STEEL, GLUED LAMINATED MEMBERS, ENGINEERED LUMBER SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.

ENGINEER OF RECORD SHALL REVIEW SHOP DRAWINGS FOR DESIGN INTENT ONLY. DIMENSIONS AND QUANTITIES ARE NOT GUARANTEED BY THE ENGINEER OF RECORD, AND THEREFORE, MUST BE VERIFIED BY THE GENERAL CONTRACTOR. DRAWINGS FOR COMPONENTS DESIGNED PRIMARILY BY OTHERS SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO COURSYORY REVIEW BY THE ENGINEER OF RECORD FOR LOADS IMPOSED ON THE BASIC STRUCTURE. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND A COPY; REPRODUCIBLE WILL BE RETURNED AND RETURNED. SHOP DRAWINGS MUST BE REVIEWED AND STAMPED BY CONTRACTOR PRIOR TO REVIEW BY ENGINEER.

- 13. PRE-MANUFACTURED, PRE-ENGINEERED STRUCTURAL COMPONENTS SHALL BE DESIGNED BASED ON THE CRITERIA PRESENTED IN THE CONTRACT DOCUMENTS. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE, TEMPORARY AND PERMANENT BRACING AND ALL NECESSARY CONNECTIONS, INCLUDING CONNECTIONS TO THE PRIMARY STRUCTURE, NOT SPECIFICALLY CALLED OUT ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS. SHOP DRAWINGS SHALL INDICATE THE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON THE PRIMARY STRUCTURE. SHOP DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED PER PARAGRAPH "A.14." OF THESE NOTES.

- 15. DEFERRED SUBMITTALS – THE FOLLOWING ITEMS ARE CONSIDERED TO BE DEFERRED SUBMITTALS UNDER SECTION 107.3.4.1 OF THE INTERNATIONAL BUILDING CODE AND MUST BE SUBMITTED TO THE ARCHITECT OR THE ENGINEER FOR REVIEW. THESE ITEMS WILL THEN BE FORWARDED TO THE BUILDING OFFICIAL FOR APPROVAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DESIGN SUBMITTALS SHALL BEAR THE STAMP AND SIGNATURE OF A REGISTERED STRUCTURAL ENGINEER IN THE STATE OF WASHINGTON
  - \* PRE-ENGINEERED GLASS STAIR TREADS, GLASS GUARDRAILS AND GLASS ROOF.

**B. DESIGN CRITERIA**

- 1. DESIGN LOADS
  - ROOF LIVE LOAD 25 PSF (SNOW\*, IS=1.0)
  - ROOF DEAD LOAD 15 PSF (20 PSF @ GLASS ROOF)
  - FLOOR LIVE LOAD (RESIDENTIAL) 40 PSF (REDUCIBLE)
  - FLOOR DEAD LOAD 15 PSF
  - DECK LIVE LOAD 60 PSF (REDUCIBLE)
  - DECK DEAD LOAD 25 PSF
- WIND (ASCE 7-10) Vw = 110 MPH, Vx = 85 MPH, (3 SEC CUST) ENCLOSED BUILDING, EXPOSURE "C", W=1.0, KZT = 1.0
- EARTHQUAKE (ASCE 7-10) SITE CLASS D OCCUPANCY CATEGORY II (E = 1.0) SEISMIC DESIGN CATEGORY D SS =1.382G, SI = 0.531G SDS=0.921G, SD1 = 0.531G  
R=6.5, R = 1.3  
Vw = CW = 0.129W  
EQUIVALENT LATERAL FORCE PROCEDURE LATERAL LOADS ARE RESISTED BY STRUCTURAL WOOD PANEL SHEAR WALLS & DIAPHRAGMS
- ALLOWABLE SOIL PRESSURE\* ..... 1,500 PSF  
LATERAL EARTH PRESSURE\*\* ..... 35 PCF ACTIVE\100 PSF SURCHARGE\7H SEISMIC  
55 PSF AT-REST\14H SEISMIC  
250 PSF PASSIVE  
0.35 COEFFICIENT OF FRICTION
- \*FOR SNOW DRIFT CALCULATIONS, PG = 15 PSF  
\*\*SOILS REPORT REFERENCE: N/A

**C. FOUNDATION**

- 1. FOUNDATION EXCAVATION, BACKFILL AND COMPACTION SHALL CONFORM TO SPECIFICATION REQUIREMENTS. THIS CONSTRUCTION WORK, INCLUDING DRAINAGE, SHORING AND SUCH OTHER RELATED WORK AS REQUIRED, SHALL BE CONDUCTED BY THE CONTRACTOR UNDER THE OBSERVATION AND DIRECTION OF THE GEOTECHNICAL ENGINEER.
- 2. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH) AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. MATERIAL TO BE COMPACTED TO 95% MINIMUM OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557.
- 3. FOOTINGS MAY BE POURED IN NEAT EXCAVATIONS PROVIDED SIZE IS INCREASED 3" AT EACH INTERFERENCE WITH SOIL.
- 4. ALL FOOTING EXCAVATIONS SHALL BE HAND CLEANED PRIOR TO PLACING CONCRETE.
- 5. ALL ABANDONED FOOTINGS, UTILITIES, ETC. THAT INTERFERES WITH NEW CONSTRUCTION SHALL BE REMOVED.
- 6. CONTRACTOR SHALL PROVIDE FOR DESIGN AND INSTALLATION OF ALL CRIBBING, SHEATHING, AND SHORING REQUIRED TO SAFELY RETAIN EXCAVATIONS.
- 7. BACKFILL BEHIND ALL WALLS WITH WELL DRAINING, GRANULAR FILL MATERIAL, AND PROVIDE PERFORATED PIPE DRAINS AS DESCRIBED IN THE SOILS REPORT. BACKFILL BEHIND WALLS SHALL NOT BE PLACED BEFORE THE WALL IS PROPERLY SUPPORTED BY THE FLOOR SLAB, OR TEMPORARY BRACING. ALL FOOTINGS SHALL BE CENTERED BELOW CENTERLINE OF COLUMNS OR WALLS ABOVE, UNLESS NOTED OTHERWISE.

**D. CONCRETE**

- 1. ULTIMATE STRENGTH DESIGN PER INTERNATIONAL BUILDING CODE AND ACI 318-14.
- 2. CONCRETE SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS
  - 2.1 CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF FC = 3,500 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. EXPOSURE CLASS F1, SO, M & CO. DESIGN IS BASED ON FC = 2,500 PSI.
  - 3. THE MINIMUM AMOUNTS OF CEMENT AND MAXIMUM AMOUNTS OF WATER MAY BE CHANGED IF A CONCRETE DESIGN MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL. TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE CONCRETE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH ACI 318, CHAPTERS 19 AND 26.
  - ALL CONCRETE EXPOSED TO FREEZING TEMPERATURES WHILE CURING AND ALL CONCRETE PERMANENTLY EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ACI 318. TOTAL AIR CONTENT SHALL BE 6% IN ACCORDANCE WITH TABLE 19.3.3.1.
  - NO ADMIXTURES, OTHER THAN FOR AIR-ENTRAINMENT AS NOTED ABOVE, SHALL BE USED WITHOUT PRIOR REVIEW BY THE STRUCTURAL ENGINEER.

- 4. REINFORCING
  - REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI. REINFORCEMENT FOR COLUMNS, WALLS, WALL TO FOOTING DOWELS, AND WOOD SHEAR WALL HOLD DOWNS TO BE A706 UNLESS CERTIFIED MILL CERTIFICATES CONFORMING TO ACI 318 20.2.2.5 ARE PROVIDED.
  - WELDED WIRE REINFORCEMENT: ASTM A82 AND ASTM A185, SPLICE WITH AT LEAST ONE FULL MESH. PLACE AT MID-DEPTH, OR SLIGHTLY ABOVE, OF SLAB. MATERIAL TO BE SUPPLIED IN FLAT SHEETS.
  - REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH ACI 318 (LATEST EDITION). LAP ALL CONTINUOUS REINFORCEMENT PER NOTE D.6. PROVIDE CORNER BARS AT ALL WALL INTERSECTIONS. LAP CORNER BARS PER NOTE D.6. LAP ADJACENT MATS OF WELDED WIRE REINFORCEMENT A MINIMUM OF 8" AT SIDES AND ENDS. NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
  - REINFORCING STEEL LAPS AND EMBEDMENT SHALL BE AS NOTED BELOW, UNLESS NOTED OTHERWISE:
    - DEVELOPMENT LENGTH – COMPRESSION 20 BAR DIAM. – 24" MINIMUM
    - DEVELOPMENT LENGTH – TENSION 48 BAR DIAM. – (#11 BAR – 54 BAR DIA.)
    - DEVELOPMENT LENGTH – TENSION, TOP BAR\* BAR DIAM. – (#11 BAR – 70 BAR DIA.)
    - LAP SPLICE LENGTH – COMPRESSION DIAM. – 24" MINIMUM
    - LAP SPLICE LENGTH – TENSION 64 BAR DIAM. – (#11 BAR – 70 BAR DIAM.)
    - LAP SPLICE LENGTH – TENSION, TOP BAR 80 BAR DIAM. – (#11 BAR – 90 BAR DIAM.)
  - \*TOP BARS ARE HORIZONTAL REINFORCEMENT SO PLACED THAT MORE THAN 12" OF CONCRETE IS CAST IN THE MEMBER BELOW THE BAR.
  - ALL HOOKS SHALL BE "STANDARD" IN ACCORDANCE WITH ACI 318. REINFORCING SHALL NOT BE TACK WELDED. DO NOT WELD GRADE 60 REINFORCING.
- 7. HIGH STRENGTH THREADED RODS (STRESSED AND NON-STRESSED) SHALL BE DYNWIDG THREADBARS WITH APPROPRIATE ANCHORAGE PLATES, NUTS, AND COUPLERS AS MANUFACTURED BY DICKERHOFF AND WINDMANN, INC., IN CONFORMANCE WITH ASTM A722 (FPU = 150,000).
- 8. MECHANICAL SPLICING OF REINFORCING BARS, WHERE INDICATED ON THE DRAWINGS, SHALL BE BY AN INTERNATIONAL CODE COUNSEL (ICC) APPROVED SYSTEM (SUCH AS LENTON, FOX-HOWLETT, ETC.) AND SHALL DEVELOP 125% OF THE SPECIFIED YIELD STRENGTH OF THE BARS. SPLICE LOCATIONS OF ALTERNATE BARS SHALL BE OFFSET BY A DISTANCE WHICH CONFORMS TO THE ICC REPORT OF THE SPLICE USED.
- 9. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
  - FOOTINGS AND OTHER UNFORMED SURFACES, EARTH FACE 3"
  - FORMED SURFACES EXPOSED TO EARTH (I.E. WALLS BELOW GROUND) OR WEATHER (#6 BARS OR LARGER) 2"
  - (#5 BARS OR SMALLER) 1-1/2"
  - COLUMN TIES OR SPIRALS AND BEAM STIRRUPS 1-1/2"
  - JOISTS, SLABS AND WALLS (INTERIOR FACE) 3/4"
- 10. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT SHALL BE NON-SHRINK, CEMENT-BASED AND HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF FC = 5000 PSI WHEN TESTED IN ACCORDANCE WITH ASTM C109.
- 11. ADHESIVE ANCHOR SYSTEM SHALL BE SET-XP OR SET-3G EPOXY BY SIMPSON STRONG-TIE, HIT-HY 200-A OR HIT-RE 500 V3 BY HILTI, AC208+ BY DEWALT, OR APPROVED EQUAL.
- 12. ALL WOOD PLATES IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED (SEE WOOD SECTION).

**E. STRUCTURAL STEEL**

- 1. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON THE AISC 360 "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS," LATEST EDITION, PLUS ALL REFERENCED CODES.
- 2. ALL "W" (WIDE FLANGE BEAM AND COLUMN) SHAPES SHALL CONFORM TO ASTM A992. HP SHAPES SHALL CONFORM TO ASTM A572, FY = 50 KSI. PLATES, BARS AND OTHER ROLLED SHAPES SHALL CONFORM TO ASTM A36, FY = 36 KSI, UNLESS CALLED OUT OTHERWISE ON PLAN. STEEL PIPE SHALL BE SCHEDULE 40 CONFORMING TO ASTM A53, TYPE E OR S, GRADE B, FY = 35 KSI. RECTANGULAR HSS SHALL CONFORM TO ASTM A500, GRADE B, FY = 46 KSI, ROUND HSS SHALL CONFORM TO ASTM A500, GRADE B, FY = 42 KSI.
- 3. ANCHOR BOLTS SHALL CONFORM TO ASTM A307 AND HAVE A WELDED HEAD. EMBED ANCHOR BOLTS A MINIMUM OF 7" INTO CONCRETE.
- 4. ALL CONNECTION BOLTS AT STEEL/STEEL CONNECTIONS SHALL BE ASTM A325 OR ASTM A490 AND SHALL BE INSTALLED, TIGHTENED, AND INSPECTED IN ACCORDANCE WITH THE AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A 490 BOLTS." THE CRITERIA FOR SNUG-TIGHT CONNECTIONS SHALL APPLY TO ALL CONNECTIONS UNLESS SPECIFICALLY NOTED AS SLIP-CRITICAL ON THE STRUCTURAL DRAWINGS. WHERE CONNECTIONS ARE NOTED AS SLIP-CRITICAL, THE CONTRACTOR SHALL INSTALL PER CRITERIA FOR SLIP-CRITICAL CONNECTIONS. SLIP-CRITICAL CONNECTIONS SHALL USE LOAD INDICATOR WASHERS OR TENSION CONTROL BOLTS. ALL BOLT HOLES SHALL BE STANDARD SIZE, UNLESS NOTED OTHERWISE.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE SELECTION OF OPTIONAL DETAILS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL ERECTION AIDS AND JOINT PREPARATIONS THAT INCLUDE, BUT ARE NOT LIMITED TO: ERECTION ANGLES, LIFT HOLES, AND OTHER AIDS; WELDING PROCEDURES; REQUIRED ROOT OPENINGS; ROOT FACE DIMENSIONS; GROOVE ANGLES; BACKING BARS; COPIES; SURFACE ROUGHNESS VALUES; AND TAPERS OF UNEQUAL PARTS.
- 6. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS BY SIMPSON STRONG-TIE, "MKW BOLT 12" WEDGE ANCHORS BY HILTI, POWER-STUD+ SD2, OR APPROVED EQUAL INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SPECIAL INSPECTION IS REQUIRED FOR ALL EXPANSION BOLT AND INSERT INSTALLATION. SUBMIT MANUFACTURER'S DATA SHEETS AND ICC REPORTS FOR ENGINEER'S REVIEW.
- 7. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70XX ELECTRODES. WELDS, UNLESS OTHERWISE NOTED, SHALL BE 3/16" CONTINUOUS FILLET WELDS. WELDS SHOWN ON DRAWINGS ARE MINIMUM SIZES. INCREASE WELD SIZE TO AWS MINIMUM SIZES, BASED ON PLATE THICKNESS. WELDING OF REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING LOW HYDROGEN ELECTRODES. WELDING WITHIN 4" OF COLD BENDS IN REINFORCING STEEL IS NOT PERMITTED. SEE REINFORCING NOTE FOR MATERIAL REQUIREMENTS OF WELDED BARS. WELDING PROCEDURES SHALL BE SUBMITTED TO THE OWNER'S TESTING AGENCY FOR REVIEW BEFORE STARTING FABRICATION OR ERECTION.
  - ALL WELDS SHALL BE VISUALLY INSPECTED AT THE SITE BY A QUALIFIED INSPECTOR.
  - ALL COMPLETE PENETRATION WELDS SHALL BE ULTRASONICALLY TESTED AT THE PLANT OR SITE BY A QUALIFIED INSPECTOR.
  - FIELD WELD ARROWS ARE SHOWN ONLY WHERE A FIELD WELD IS REQUIRED BY THE STRUCTURAL DESIGN. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF A WELD SHOULD BE SHOP OR FIELD WELDED IN ORDER TO FACILITATE THE STRUCTURAL STEEL ERECTION.

**F. CARPENTRY**

- 1. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ANSI STANDARD A190.1. EACH MEMBER SHALL BEAR AN AITC OR APA EWS IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA EWS CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, FB = 2,400 PSI, FV = 240 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, FB = 2,400 PSI, FV = 240 PSI. CAMBER ALL GLULAM BEAMS TO 2,000" RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS.
- 2. FRAMING LUMBER SHALL BE GRADED AND MARKED IN CONFORMANCE WITH WCLB STANDARD GRADING RULES FOR WEST COAST LUMBER, LATEST EDITION. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

|                      | MEMBER        | SIZE     | SPECIES | GRADE                          | MIN. BASIC DESIGN STRESS |
|----------------------|---------------|----------|---------|--------------------------------|--------------------------|
| JOISTS AND RAFTERS:  | 2X, 3X        | HEM FIR  | #2      | FB = 850 PSI                   |                          |
|                      | 4X            | HEM FIR  | #2      | FB = 850 PSI                   |                          |
| BEAMS AND STRINGERS: | 6X AND LARGER | DOUG FIR | #1      | FB = 1350 PSI                  |                          |
| POSTS AND TIMBERS:   | 6X6, 6X8      | DOUG FIR | #1      | FC = 1000 PSI<br>FB = 1200 PSI |                          |

PLATES AT SHEAR WALLS AND BEARING WALLS:

|                                       |         |    |              |
|---------------------------------------|---------|----|--------------|
| STUDS, PLATES, & MISC. LIGHT FRAMING: | HEM FIR | #2 | FB = 850 PSI |
|---------------------------------------|---------|----|--------------|
- ALL LUMBER WITH A LEAST DIMENSION OF 2" (NOMINAL) SHALL BE STAMPED SURFACE-DRY AND SHALL HAVE A MOISTURE CONTENT WHEN SURFACED AND WHEN INSTALLED OF NOT MORE THAN 19 PERCENT. LUMBER WITH A LEAST DIMENSION OF 4" (NOMINAL) OR GREATER SHALL BE STAMPED SURFACE-GREEN AND AIR-DRIED TO A MOISTURE CONTENT OF NOT MORE THAN 19 PERCENT PRIOR TO ITS USE IN FRAMING THE STRUCTURE.
- 3. MANUFACTURED LUMBER SHALL BE AS MANUFACTURED BY TRUS JOIST OR APPROVED EQUAL. REQUESTS FOR APPROVAL AS EQUAL WILL REQUIRE SUBMITTAL OF ICC REPORT EQUIVALENT TO ESR-1387 FOR LAMINATED STRAND LUMBER (LSL), LAMINATED VENEER LUMBER (LVL), OR PARALLEL STRAND LUMBER (PSL), THE MINIMUM ALLOWABLE DESIGN VALUES ARE AS FOLLOWS:

|   |
|---|
| LSL – FB = 2,250; FV = 400 PSI; E = 1,500,000 PSI |
| LVL – FB = 2,600; FV = 285 PSI; E = 1,800,000 PSI |
| PSL – FB = 2,900; FV = 290 PSI; E = 2,000,000 PSI |
- 4. SHEATHING SHALL BE APA PERFORMANCE RATED PANELS PER APA "PLYWOOD DESIGN SPECIFICATION" INCLUDING APPLICABLE SUPPLEMENTS, UNLESS NOTED OTHERWISE. PLYWOOD OR ORIENTED-STRAND BOARD (OSB) PANELS SHALL BE GRADE CD AND ALSO CONFORM TO DOC P5-1 & P5-2. ALL PANELS SHALL BE IDENTIFIED AS EXPOSURE 1 UNLESS NOTED OTHERWISE. PANEL RATING TO BE AS FOLLOWS UNLESS NOTED OTHERWISE:

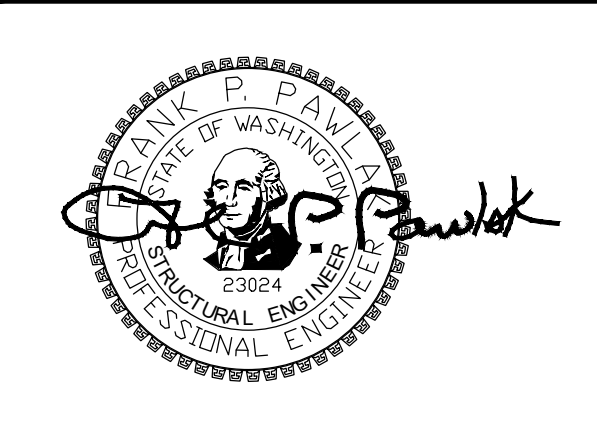
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|---------|--|
| ROOF:   | 19/32" (OR 5/8") THICK, 40/20                    |
| WALLS:  | 15/32" THICK, 32/16, OR 1/2" THICK, 24/0         |
| FLOORS: | 23/32" (OR 3/4") THICK, TONGUE & GROOVE, (48/24) |

- UNLESS NOTED OTHERWISE ON THE PLANS, ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED WITH 80 NAILS @ 6"OC TO FRAMED PANEL EDGES AND OVER STUD WALLS SHOWN ON PLANS AND @ 12"OC (10"OC AT FLOORS) TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED SHEATHING EDGE CLIPS @ 16"OC AT UNLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS AND EDGE CLIPS. PROVIDE SOLID BLOCKING AT ALL EDGES ONLY WHERE NOTED ON PLANS. TORNAL BLOCKING TO SUPPORTS WITH 160 NAILS, UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE ON THE PLANS, WALL SHEATHING MAY BE LAID UP HORIZONTALLY OR VERTICALLY, UNSUPPORTED EDGES SHALL BE BLOCKED AND ALL EDGES SHALL BE NAILED WITH 80 @ 6"OC, NAIL WITH 80 @ 12"OC AT INTERMEDIATE SUPPORTS. NAIL SHEAR WALL SHEATHING TO ALL HOLDOWN STUDS USING EDGE NAIL SPACING WHEN HOLDOWN STUD DOES NOT OCCUR AT PANEL EDGES.
- SHEATHING NAILS SHALL BE DRIVEN FLUSH BUT SHALL NOT FRACTURE THE SURFACE OF THE SHEATHING.

- 5. INTERIOR WOOD MEMBERS IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH SODIUM BORATE (SBX). WOOD MEMBERS EXPOSED TO WEATHER (UNPAINTED) OR IN DIRECT CONTACT WITH SOIL SHALL BE PRESSURE-TREATED WITH ALKALINE COPPER QUATERNARY (ACQ). NOTE THAT ACQ IS EXTREMELY CORROSIVE TO METALS. SBX IS NONTOXIC TO THE ENVIRONMENT. PROVIDE TWO LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER BETWEEN UNTREATED LEDGERS, BLOCKING, ETC. AND CONCRETE OR MASONRY. ALL METAL CONNECTORS IN CONTACT WITH "ACO" PRESSURE-TREATED LUMBER OR FIRE-RETARDANT-TREATED LUMBER SHALL BE TYPE 304 OR 316 STAINLESS STEEL. THIS INCLUDES WASHERS, SCREWS, NAILS, HANGERS, AND ANY OTHER MISCELLANEOUS LT. GAGE METAL CONNECTORS. WHERE ACO LUMBER IS MISTAKENLY USED OR FOR FIRE-RETARDANT-TREATED LUMBER USED IN INTERIOR CONDITIONS, ASTM A 653, TYPE G185 ("HOT-DIP" GALVANIZED TO 1.85 OUNCES PER SQUARE FOOT) METAL CONNECTORS MAY BE USED IN LIEU OF STAINLESS STEEL. METAL CONNECTORS 1/2" THICK OR GREATER NEED NOT BE GALVANIZED FOR INTERIOR USE, NOR DO THEY NEED TO BE STAINLESS STEEL FOR EXTERIOR USE. METAL CONNECTORS 1/2" THICK PLUS MUST BE GALVANIZED FOR EXTERIOR USE, UNLESS SPECIFIED OTHERWISE BY THE ARCHITECT.

- 6. WOOD FASTENER NOTES – THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
  - 6.1 NOTATIONS ON DRAWINGS RELATING TO FRAMING CLIPS, JOIST HANGERS AND OTHER CONNECTING DEVICES REFER TO CATALOG NUMBERS OF CONNECTORS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, DUBLIN, CALIFORNIA. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. SUBMIT MANUFACTURER'S CATALOG AND ICC REPORTS TO ARCHITECT AND ENGINEER FOR REVIEW WHEN REQUESTING SUBSTITUTIONS. ALL SPECIFIED FASTENERS MUST BE USED AND PROPER INSTALLATION PROCEDURES MUST BE OBSERVED IN ORDER TO OBTAIN ICC APPROVED LOAD CAPACITIES. VERIFY THAT THE DIMENSIONS OF THE SUPPORTING MEMBER ARE SUFFICIENT TO RECEIVE THE SPECIFIED FASTENERS.
  - 6.2 NAILS SHALL BE MANUFACTURED IN CANADA OR THE UNITED STATES IN SIZES AND TYPES AS FOLLOWS, UNLESS NOTED OTHERWISE:
    - PNEUMATIC NAILING – PLAIN SHANK, COATED OR GALVANIZED
      - 8D = 131 DIAMETER X 2-1/2" MINIMUM LENGTH
      - 10D = 148 DIAMETER X 3" MINIMUM LENGTH
      - 16D = 162 DIAMETER X 3-1/4" MINIMUM LENGTH
      - 20D = 192 DIAMETER X 4" MINIMUM LENGTH
    - HAND NAILING – SINKERS, COATED
      - 8D = 11-1/2" GAGE X 2-3/8"
      - 10D = 11 GAGE X 2-7/8"
      - 16D = 9 GAGE X 3-1/4"
  - 7. WOOD FRAMING NOTES – THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
    - 7.1 ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 230A.10.1 OF THE INTERNATIONAL BUILDING CODE. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
      - 7.2 WALL FRAMING: ALL STUD WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2X4 STUDS @ 16"OC AT INTERIOR WALLS AND 2X6 STUDS @ 16"OC AT EXTERIOR WALLS. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS. UNLESS NOTED OTHERWISE A (2) 2X8 HEADER SHALL BE PROVIDED OVER ALL OPENINGS IN 2X4 STUD WALLS AND A (3) 2X8 HEADER OVER ALL OPENINGS IN 2X6 WALLS. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORT BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 8'-0" IN HEIGHT.
      - 7.3 FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE BRIDGING @ 8'-0"OC AND SOLID BLOCKING AT ALL BEARING POINTS. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.
        - TORNAL JOISTS TO BEARING SUPPORTS WITH 160 NAILS. UNLESS NOTED OTHERWISE, ATTACH JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON "LU" SERIES METAL JOIST HANGERS TO SUIT JOIST SIZE. ALL DOUBLE JOISTS, BEAMS, AND SLOPED AND/OR SKEWER JOISTS SHALL BE CONNECTED TO FLUSH MEMBERS WITH U-SERIES JOIST HANGERS UNLESS NOTED OTHERWISE. SKEW AND SLOPE ALL CONNECTORS AS REQUIRED. FACE-NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH 160 SPIKES @ 24"OC STAGGERED.

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**PROJECT**

9820 SE 35TH PLACE  
ACHIN & MARY CHEN  
9820 SE 35TH PL  
MERCER ISLAND, WA 98040

**REVISIONS**

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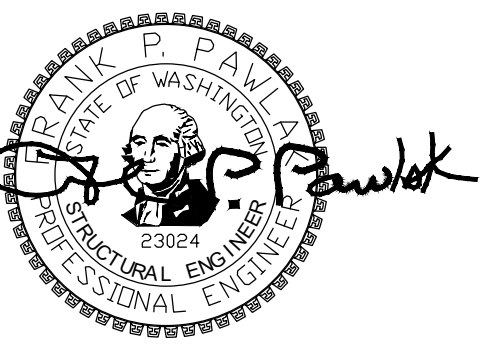
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**SHEET TITLE**

**GENERAL STRUCTURAL NOTES**

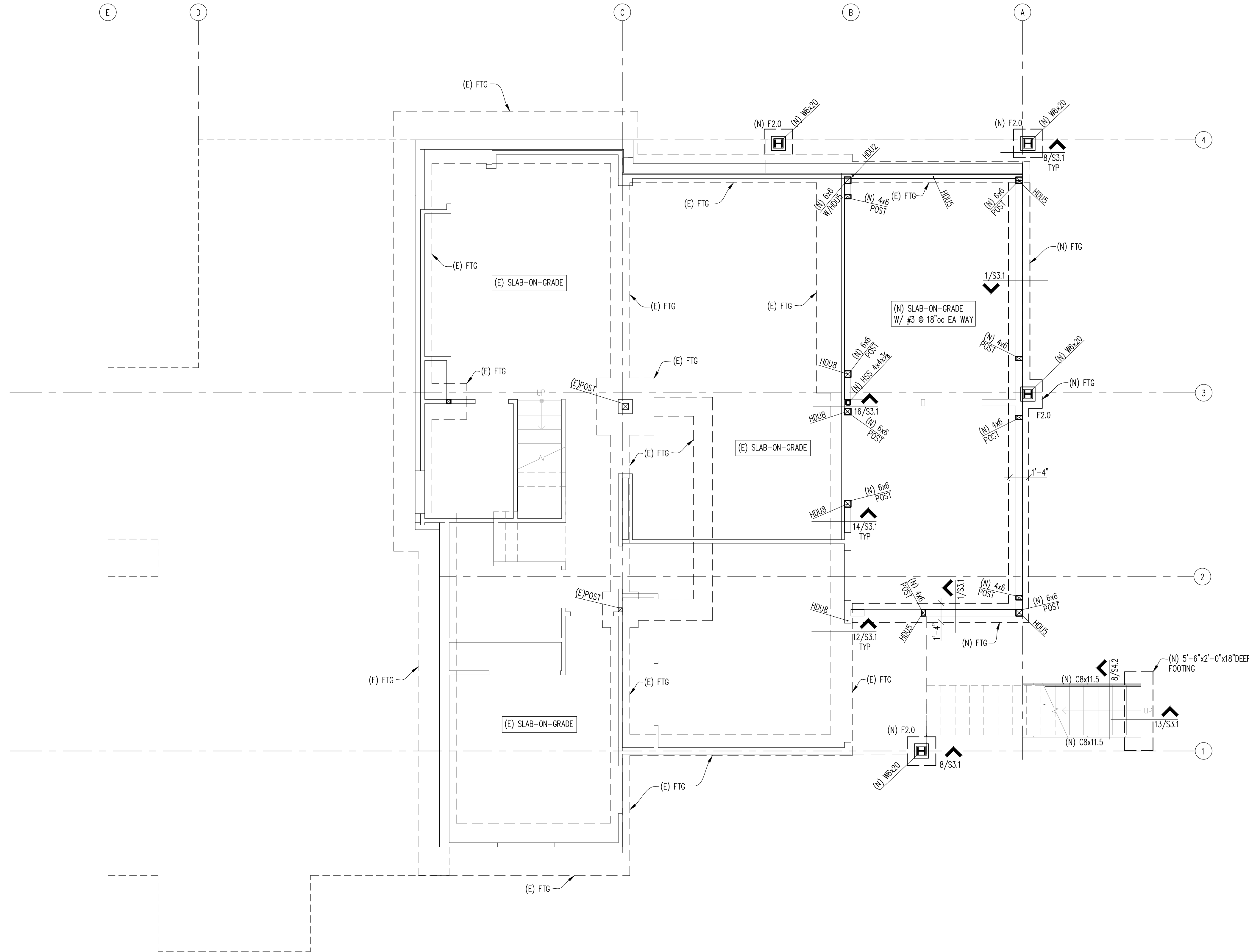
**SHEET NO.**

**S1.1**



PROJECT

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- NOTES:  
 1. F2.X DENOTES FOOTING SIZE - FOOTING SCHEDULE.  
 F2.0 IS 2'-0"x2'-0"x12" DEEP W/ (3) #5 EA WAY BOT  
 2. SEE ARCH FOR DIMENSIONS.  
 3. SEE ARCH FOR INSULATION BELOW SLAB-ON-GRADE, IF APPLICABLE.  
 4. WALLS SHOWN ARE BASEMENT LEVEL WALLS.  
 5. SEE SHEETS S3.X FOR CONCRETE DETAILS.  
 6. H—INDICATES HOLDDOWN TYPE, SEE 10/S4.1 FOR HOLDOWN SCHEDULE.  
 7. SEE SHEET S2.2 FOR BASEMENT SHEARWALL LOCATIONS.

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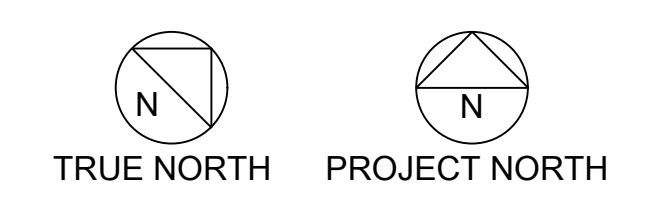
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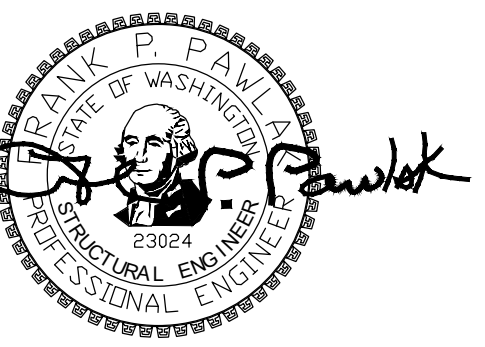
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FOUNDATION PLAN

SHEET NO.

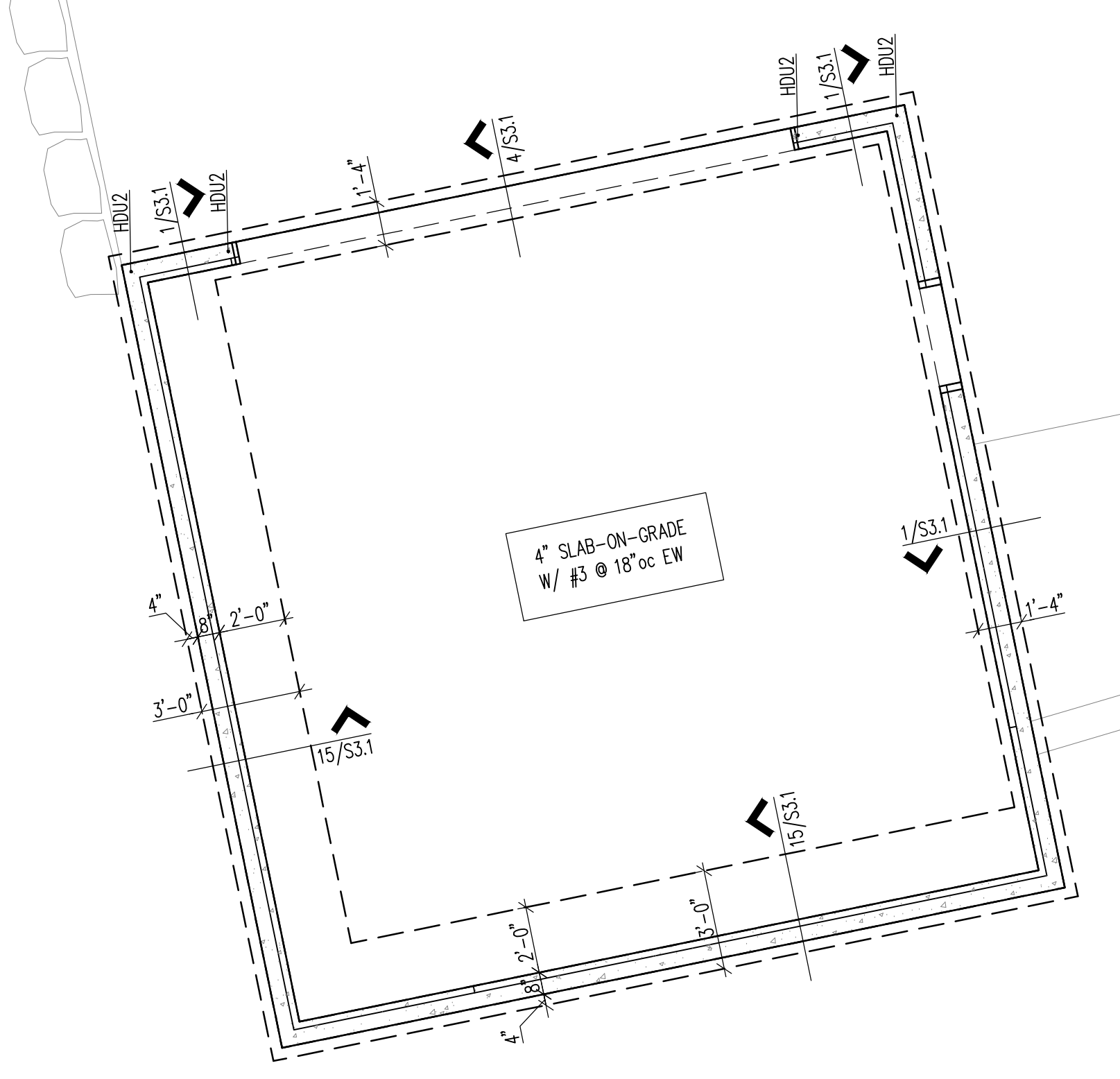
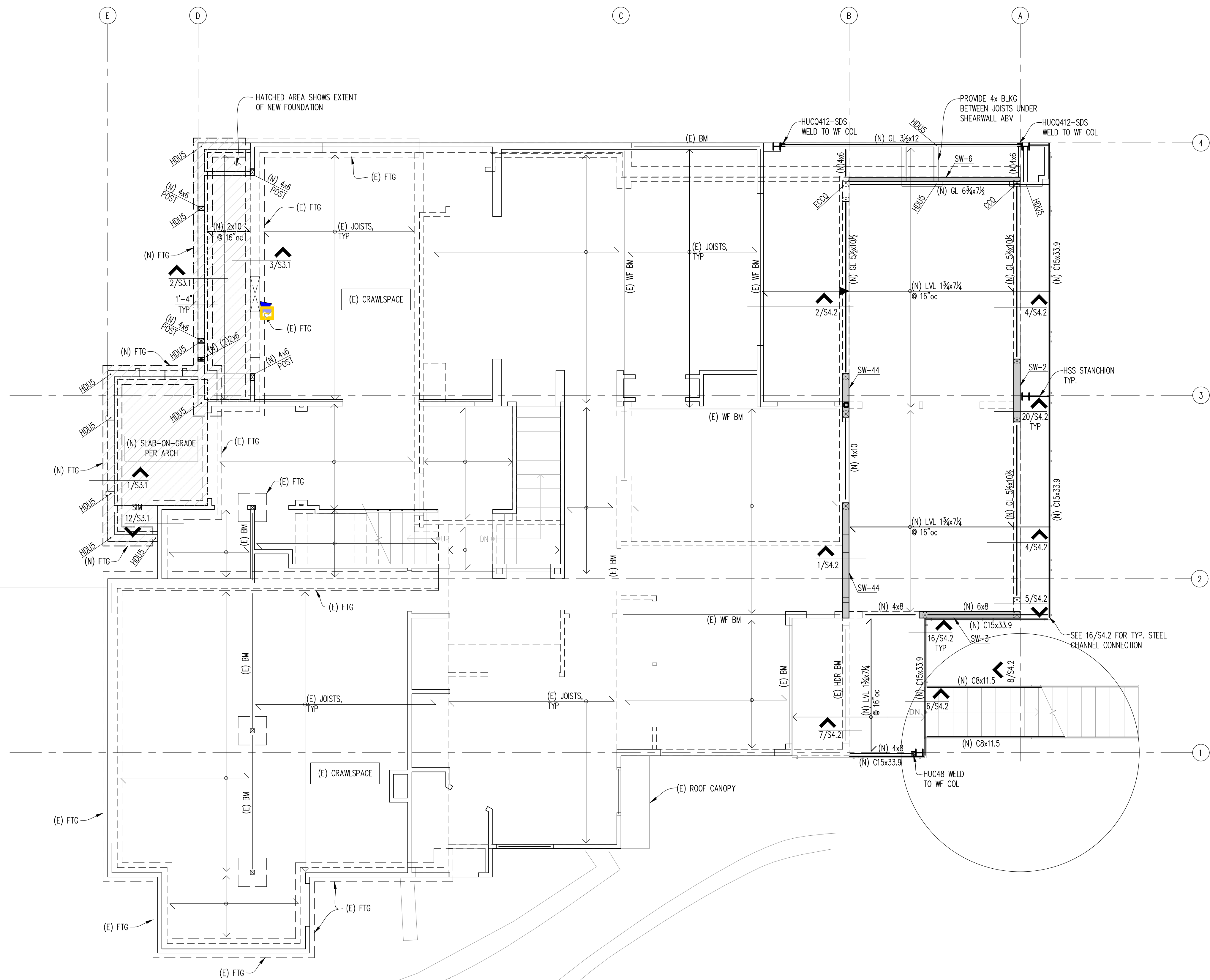
S2.1





PROJECT

9820 SE 35TH PLACE  
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 9820 SE 35TH PL  
 MERCER ISLAND, WA 98040



- NOTES:
1. WALLS SHOWN IN HIDDEN ARE ON LEVEL BELOW (BASEMENT LEVEL). WALLS SHOWN IN SOLID ARE ON 1ST FLOOR.
  2. SEE ARCH FOR DIMENSIONS.
  3. SEE SHEET S4.X FOR TYPICAL WOOD FRAMING DETAILS. SEE SHEET S3.X FOR CONCRETE DETAILS.
  4. STAGGER JOISTS AT ALL BEARING WALLS FOR FULL BEARING.
  5. ALL HEADERS TO BE 4x8, UNO ON PLANS.
  6. SW-X INDICATES SHEAR WALL TYPE, SEE 9/S4.1 FOR SW SCHEDULE.
  7. X- INDICATES HOLD-DOWN TYPE, SEE 10/S4.1 FOR HOLD-DOWN SCHEDULE.
  8. □ INDICATES SHEAR WALLS.
  9. ▴ INDICATES INTERMEDIATE BEARING POINT.

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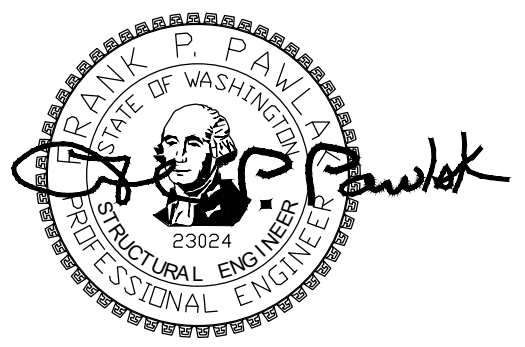
1ST FLOOR  
 FRAMING  
 PLAN

SHEET NO.

S2.2

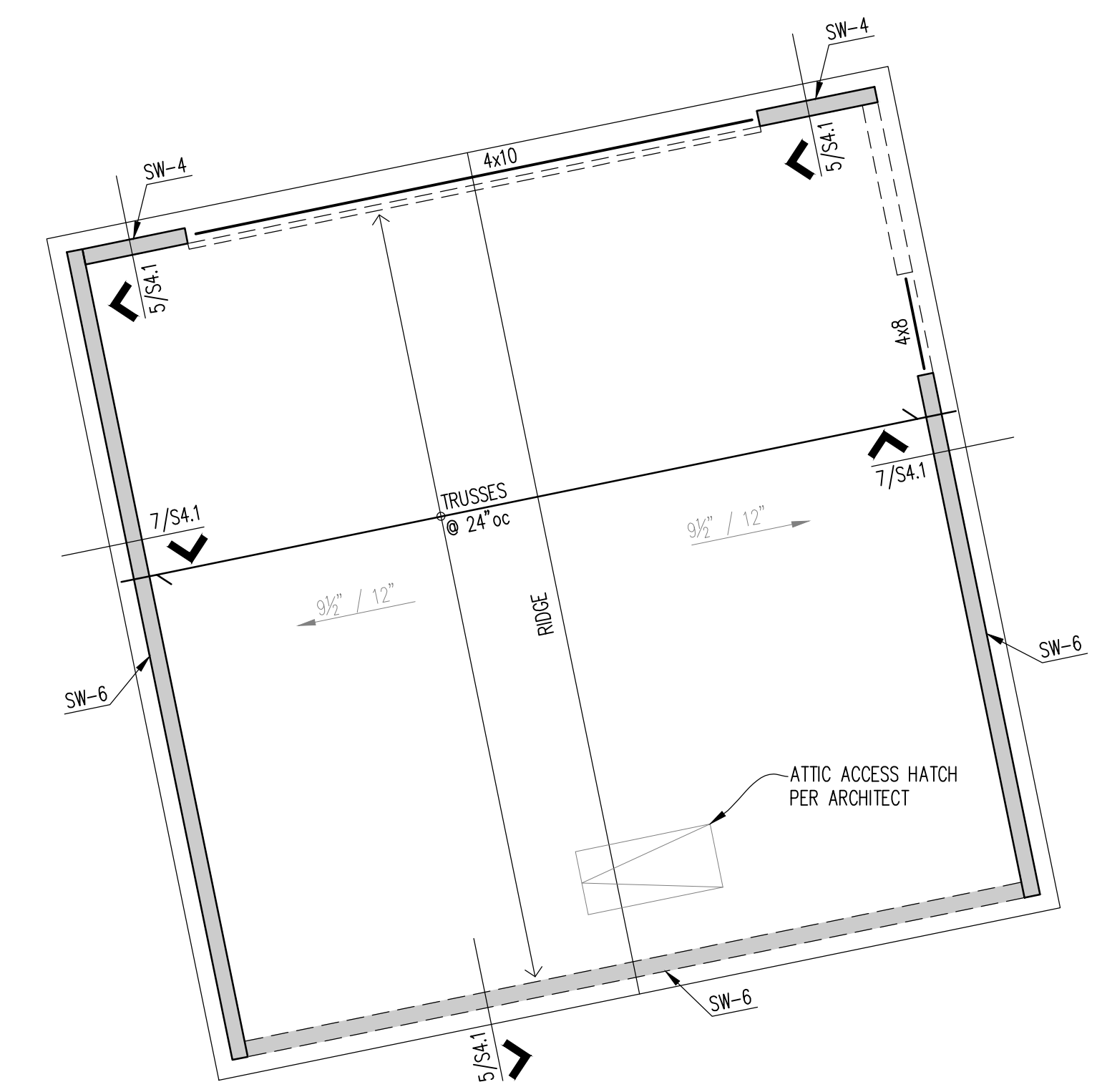
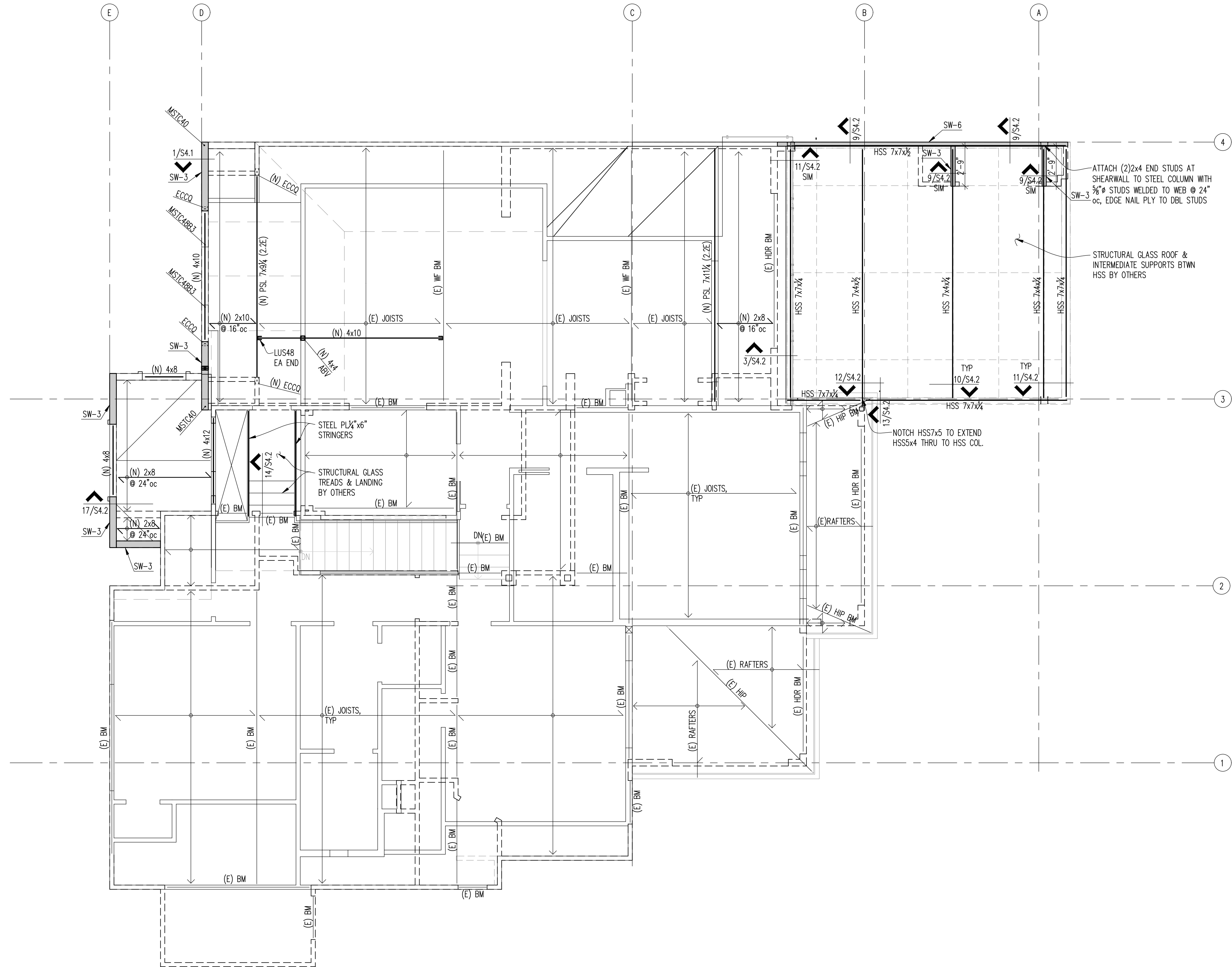


1ST FLOOR FRAMING PLAN



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- NOTES:
1. WALLS SHOWN IN HIDDEN ARE ON LEVEL BELOW (FIRST FLOOR). WALLS SHOWN IN SOLID ARE ON SECOND FLOOR.
  2. SEE ARCH FOR DIMENSIONS.
  3. SEE SHEET S4.X FOR TYPICAL WOOD FRAMING DETAILS.
  4. STAGGER JOISTS AT ALL BEARING WALLS FOR FULL BEARING.
  5. ALL HEADERS TO BE 4x6, UNO ON PLANS.
  6. SW-X INDICATES SHEAR WALL TYPE. SEE 9/S4.1 FOR SW SCHEDULE.
  7. <img alt="holdown symbol" data-bbox="670 720 680 730"/> INDICATES HOLDOWN TYPE. SEE 10/S4.1 FOR HOLDOWN SCHEDULE.
  8. <img alt="shear wall symbol" data-bbox="670 730 680 740"/> INDICATES SHEAR WALLS.
  9. <img alt="intermediate bearing point symbol" data-bbox="670 740 680 750"/> INDICATES INTERMEDIATE BEARING POINT.

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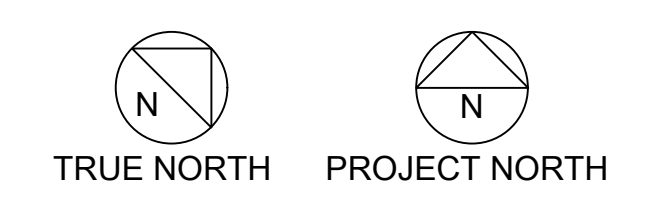
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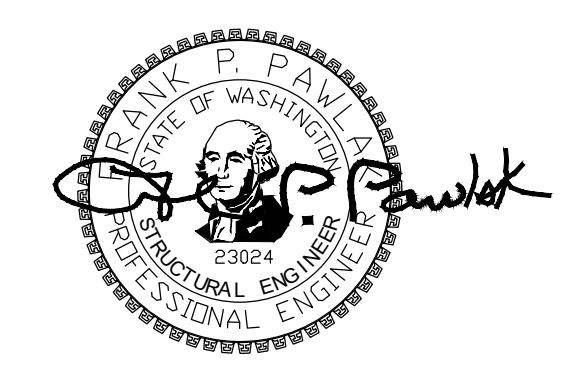
2ND FLOOR  
 FRAMING  
 PLAN

SHEET NO.

S2.3







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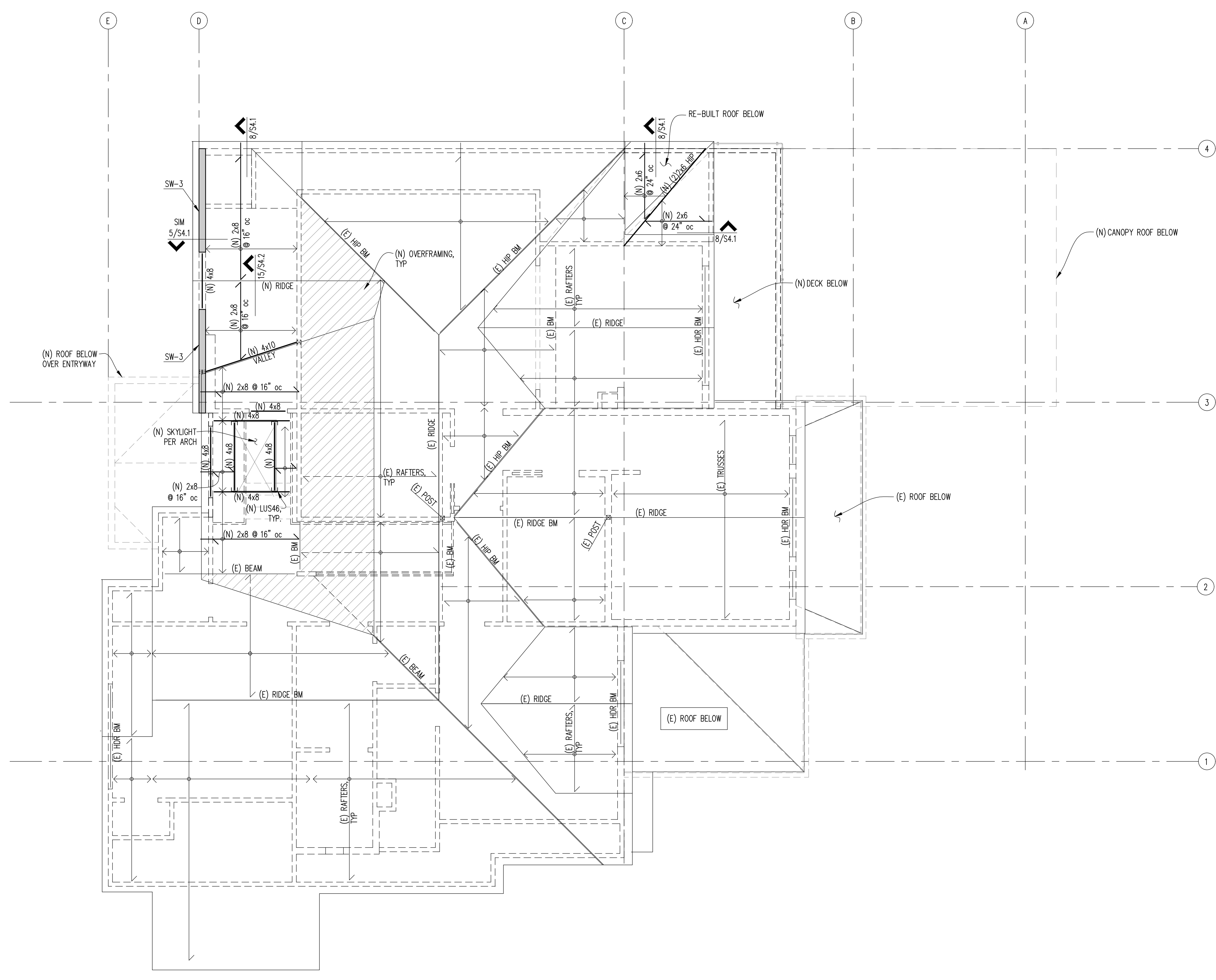
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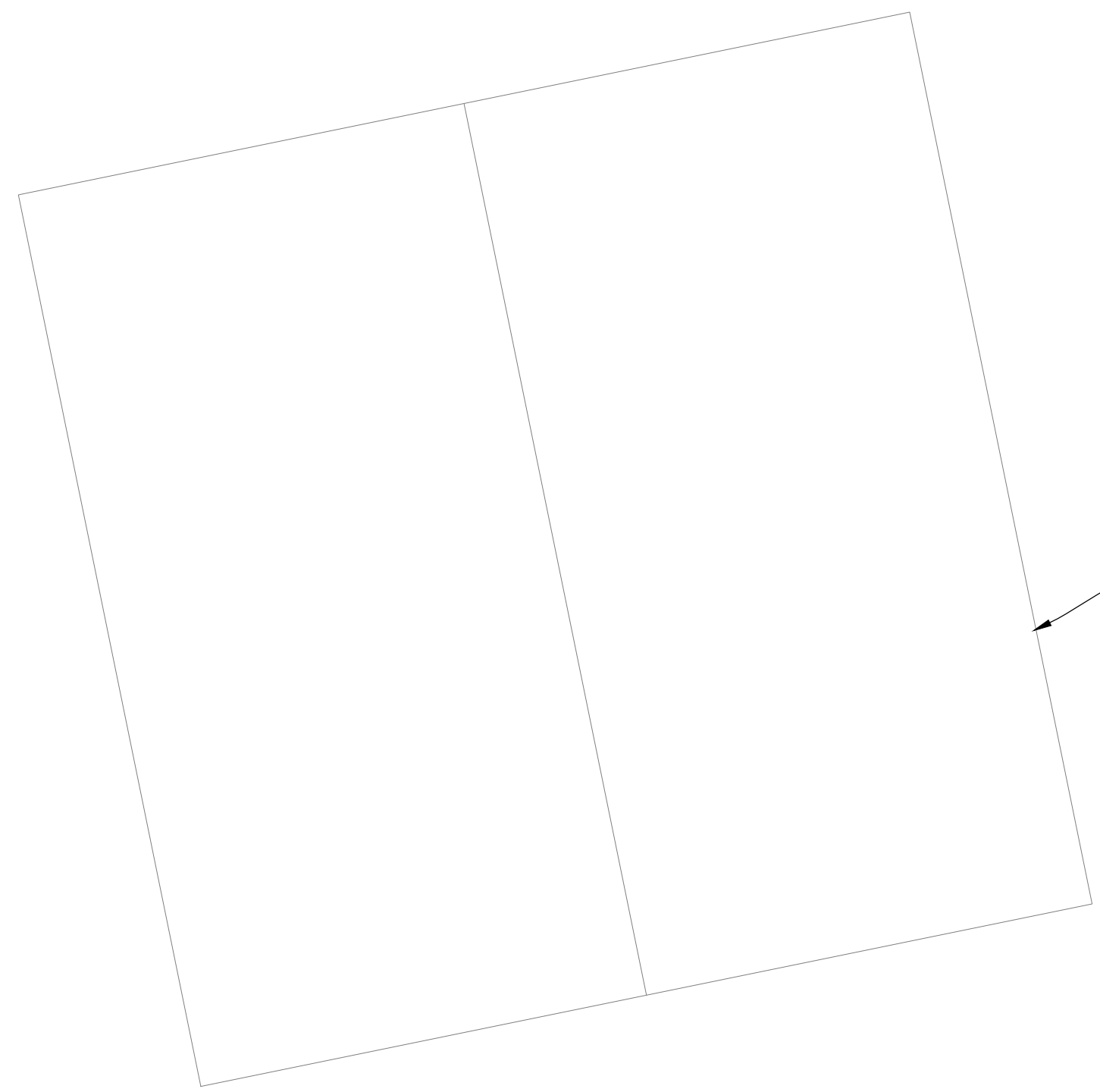
ROOF FRAMING PLAN

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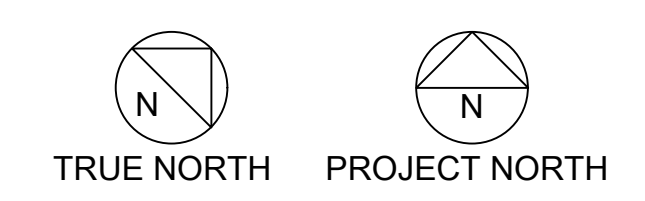
S2.4

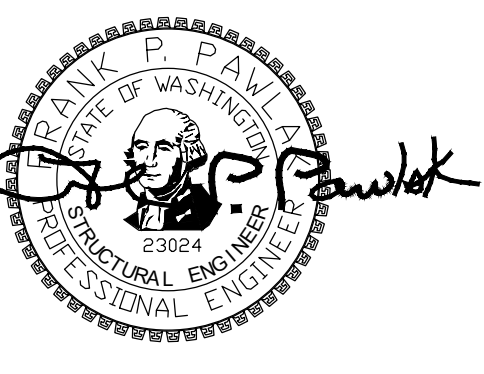


- NOTES:
1. WALLS SHOWN ARE ON LEVEL BELOW (SECOND FLOOR).
  2. SEE ARCH FOR DIMENSIONS.
  3. SEE SHEET S4.X FOR TYPICAL WOOD FRAMING DETAILS.
  4. STAGGER JOISTS AT ALL BEARING WALLS FOR FULL BEARING.
  5. ALL HEADERS TO BE 4x8, UNO ON PLANS.
  6. SW-X INDICATES SHEAR WALL TYPE, SEE 9/S4.1 FOR SW SCHEDULE.
  7. ■ INDICATES SHEAR WALLS.
  8. ▶ INDICATES INTERMEDIATE BEARING POINT.



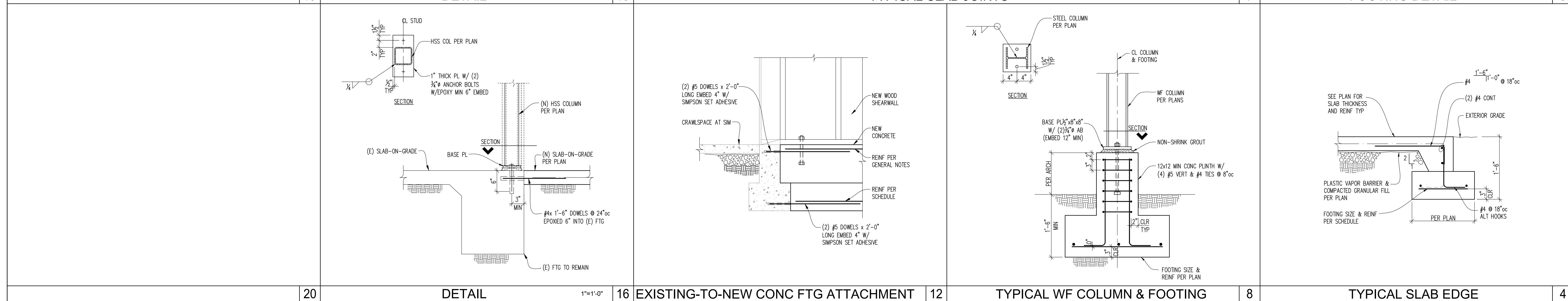
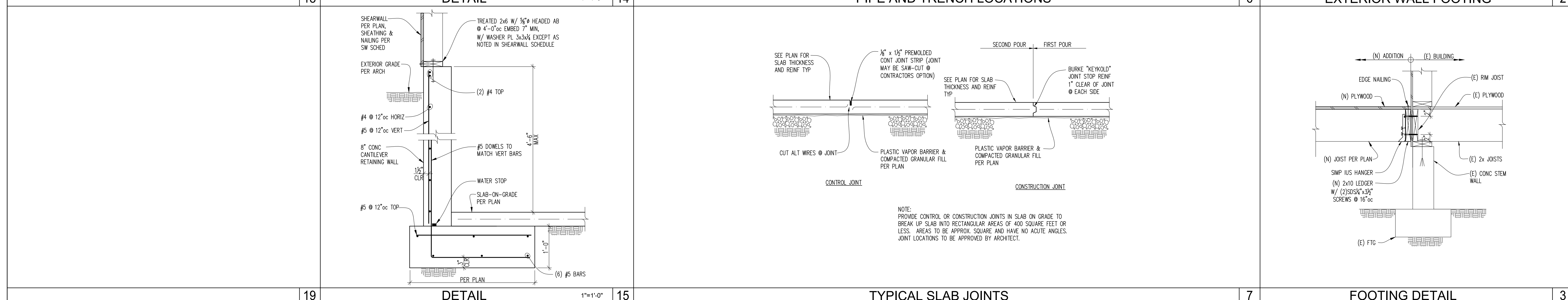
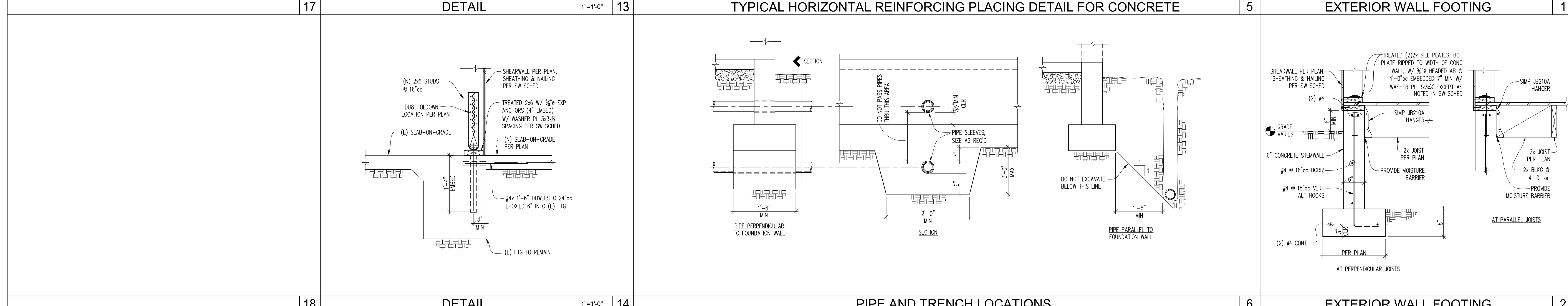
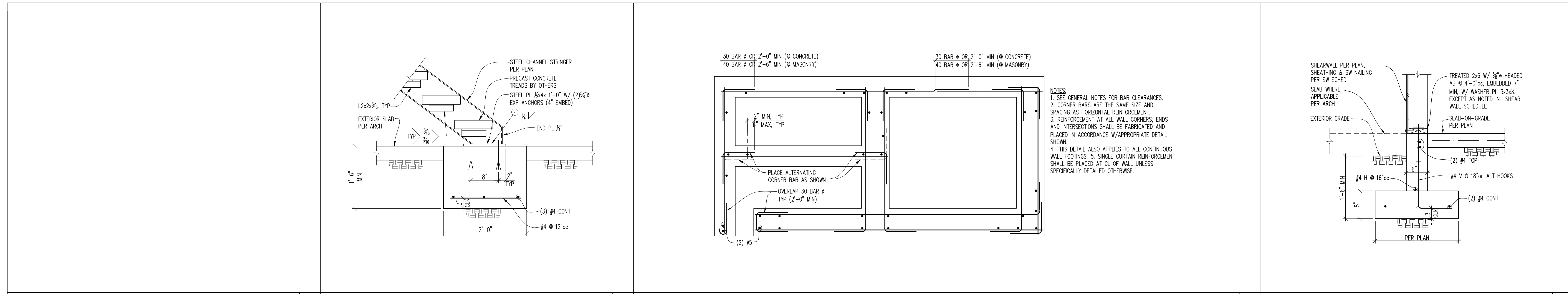
(N) GARAGE BUILDING





PROJECT

9820 SE 35TH PLACE  
ACHIN & MARY CHEN  
9820 SE 35TH PL  
MERCER ISLAND, WA 98040



REVISIONS

| NO.    | DATE   | DESCRIPTION    |
|--------|--------|----------------|
| 114-20 | PERMIT |                |
| 20-129 | JOB #  |                |
| AM     | DESIGN | FPP CHECKED    |
| LMS    | DRAWN  | AS NOTED SCALE |

SDCI STAMP

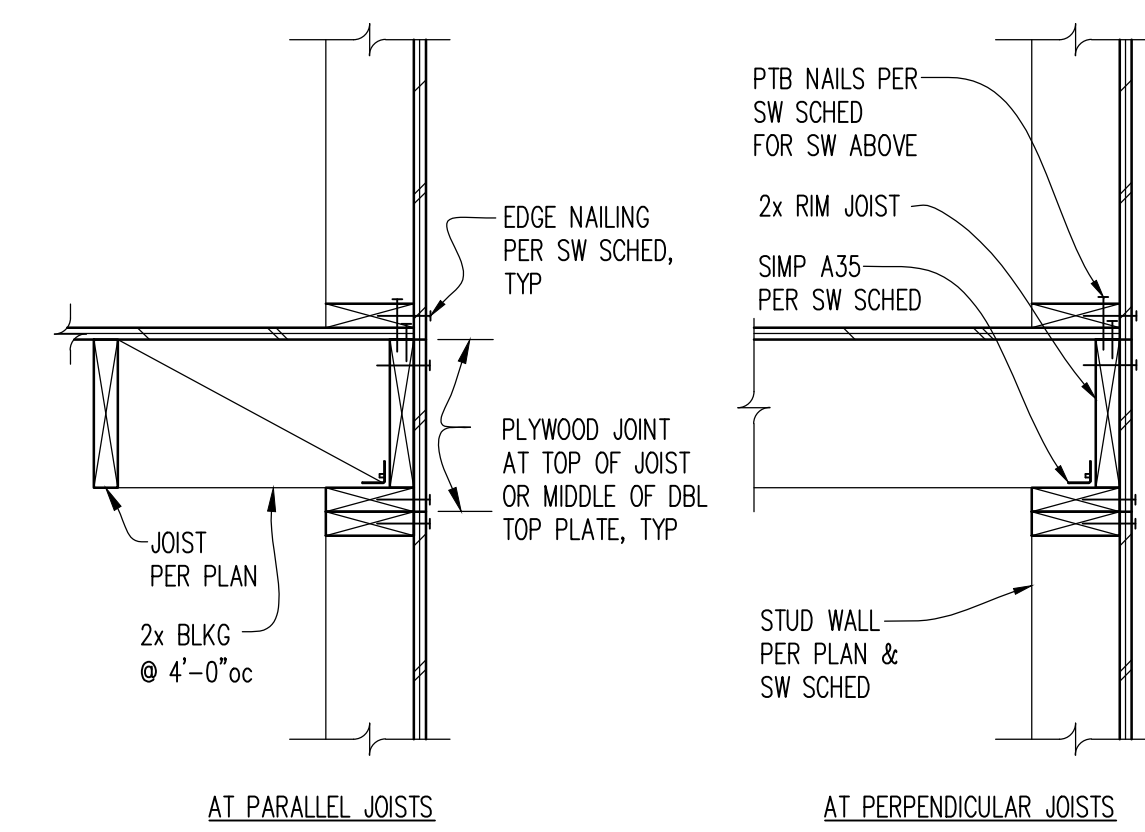
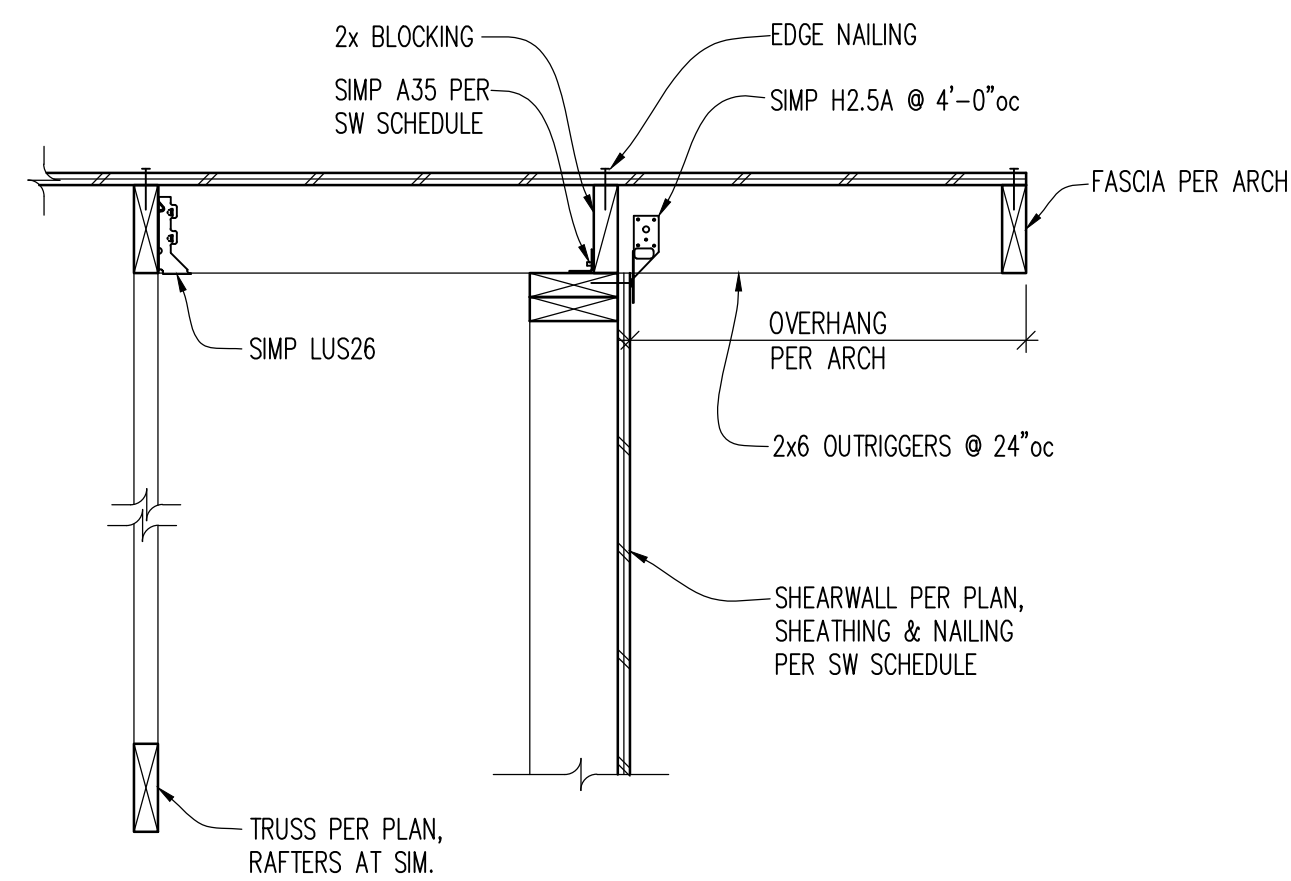
SHEET TITLE  
**CONCRETE DETAILS**

SHEET NO.  
**S3.1**

| SHEAR WALL SCHEDULE (HEM FIR LUMBER WITH 8d NAILS) |                             |                                     |   |               |  |  |  |                |  |      |
|--|-----------------------------|-------------------------------------|---|---------------|--|--|--|----------------|--|------|
| MARK   | SHEATHING (NOTES 1,2,3,4,9) | RIM/BLKG TO WALL TOP PLATE (NOTE 6) | WALL BOTTOM PLATE TO RIM/BLKG ATTACHMENT * (NOTE 6.1) |               | 3/8" ANCHOR BOLTS TO CONCRETE (NOTES 8,10) | MIN PANEL EDGE STUDS & BLOCKING (NOTE 8) | FASTENING ALTERNATIVE (2)2x TOGETHER (NOTE 14) |                | ALLOWABLE SHEAR CAPACITY (PLF)(NOTE 8) |      |
|  |                             |                                     | 16d NAILS   | SDS 0.220"x5" |  |  | 10d NAILS                                      | SDS 3/4"x3"    |  |      |
| SW-6   | ONE SIDE                    | 8d @ 6"oc                           | LTP4 @ 24"oc  | 11"oc         | 21"oc                                      | 48"oc                                    | 2x   | N/A            | N/A                                    | 242  |
| SW-4   | ONE SIDE                    | 8d @ 4"oc                           | LTP4 @ 22"oc  | 7"oc          | 15"oc                                      | 48"oc                                    | 3x   | 5/8"oc         | 10"oc                                  | 353  |
| SW-3   | ONE SIDE                    | 8d @ 3"oc                           | LTP4 @ 16"oc  | 5"oc          | 11"oc                                      | 36"oc                                    | 3x   | 4"oc           | 8"oc                                   | 456  |
| SW-2   | ONE SIDE                    | 8d @ 2"oc                           | LTP4 @ 13"oc  | 4"oc          | 8"oc                                       | 27"oc                                    | 3x   | (2) @ 6/8"oc   | 6/8"oc                                 | 595  |
| SW-44  | BOTH SIDES (NOTE 7)         | 8d @ 4"oc                           | LTP4 @ 11"oc  | N/A           | 7"oc                                       | 23"oc                                    | 3x   | (2) @ 5/8"oc   | 5/8"oc                                 | 706  |
| SW-33  | BOTH SIDES (NOTE 7)         | 8d @ 3"oc                           | LTP4 @ 8"oc   | N/A           | 7"oc **                                    | 18"oc                                    | 3x   | (2) @ 4"oc     | 4"oc                                   | 912  |
| SW-22  | BOTH SIDES (NOTE 7)         | 8d @ 2"oc                           | LTP4 @ 6"oc   | N/A           | 5/8"oc **                                  | 13"oc                                    | 3x   | (2) @ 3"oc *** | 3"oc                                   | 1190 |

\* A35 OR LTP4 CAN BE USED ALTERNATIVELY  
 \*\* USE MIN 2x OF RIM BOARD AT THESE SHEARWALLS  
 \*\*\* FASTENERS SHALL BE STAGGERED

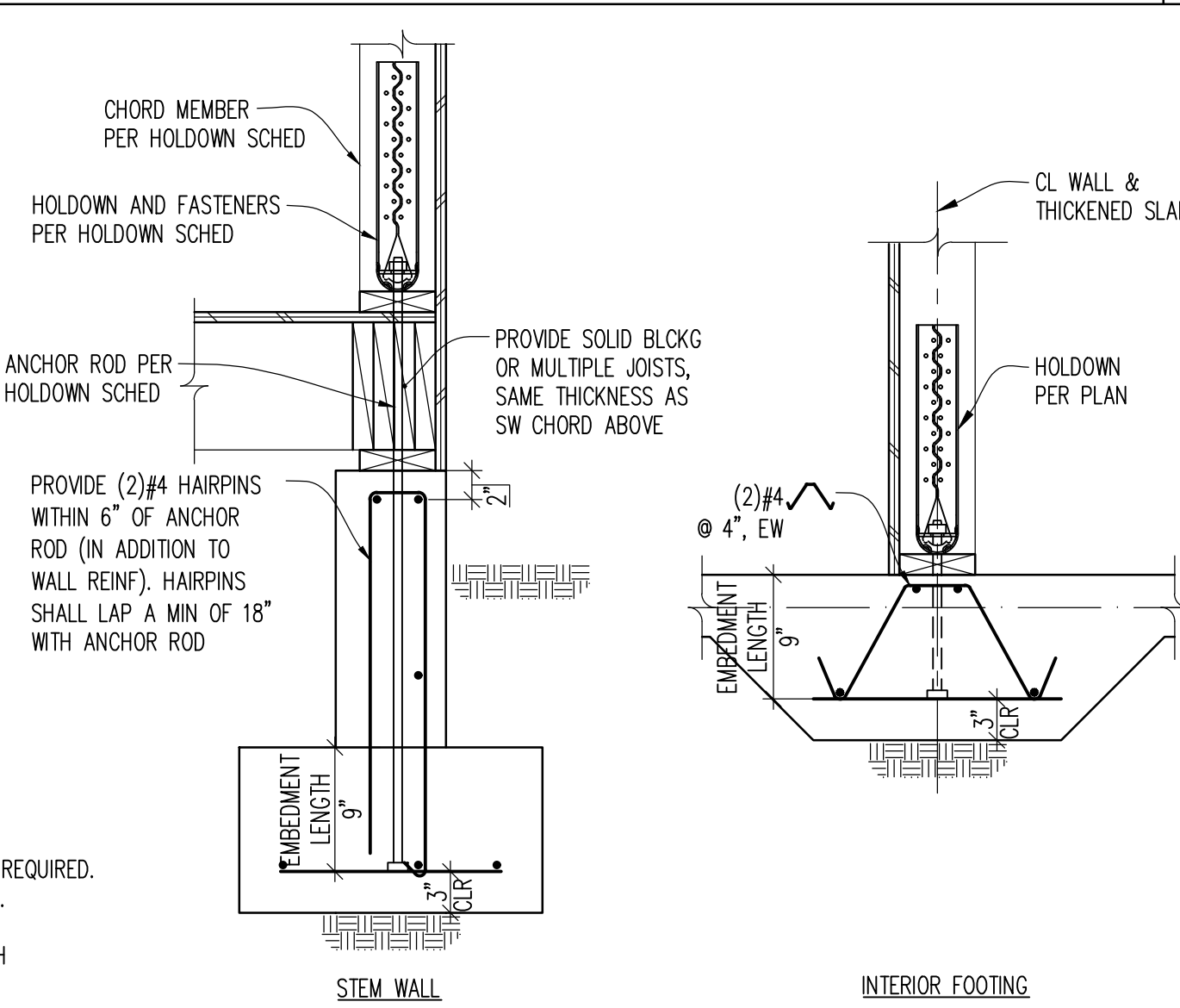
- NOTES:
- SHEATHING SHALL BE 1/2" OR 5/8" PLY, TYP UNO. OSB SHALL NOT BE SUBSTITUTED FOR PLYWOOD. SHEATHING SHALL HAVE A MINIMUM SPAN RATING OF 24/0.
  - SHEATHING SHALL BE APPLIED DIRECTLY TO FRAMING.
  - PROVIDE SOLID BLOCKING AT ALL SHEATHING PANEL EDGES.
  - PROVIDE 8d @ 12"oc AT ALL INTERMEDIATE SUPPORTS (FIELD NAIL), TYP UNO.
  - NAILS PER GENERAL STRUCTURAL NOTES.
  - LATERAL TIE PLATES OR WALL PLATE TO BLOCKING NAILING IS REQUIRED WHERE SHEATHING IS DISCONTINUOUS, I.E. WHERE ADJACENT SHEATHING EDGES ARE NOT NAILED TO THE SAME PIECE OF FRAMING. TIE NAILING IS NOT PERMITTED. LATERAL TIE PLATES MAY BE SUBSTITUTED FOR WALL PLATE TO BLOCKING NAILING. INSTALL LATERAL TIE PLATES OVER APA RATED SHEATHING PANELS. USE COMMON NAILS OR EQUIVALENT NAILS SUPPLIED BY CONNECTOR MANUFACTURER FOR LATERAL TIE PLATES. A35 FRAMING ANCHORS MAY BE SUBSTITUTED FOR LATERAL TIE PLATES AT SPACING SHOWN IN TABLE.
  - WHERE SHEATHING IS APPLIED TO BOTH SIDES OF WALL, STAGGER PLYWOOD JOINTS SO THAT JOINTS ON EACH SIDE OF THE WALL DO NOT OCCUR AT THE SAME STUD. PROVIDE 3x BLOCKING FOR ALL DOUBLE SHEATHED WALLS.
  - PROVIDE SHEAR WALL SHEATHING AND NAILING FOR ENTIRE LENGTH OF WALLS NOTED ON PLANS. ENDS OF WALLS ARE DESIGNATED BY EXTERIOR OF BUILDING, CORRIDORS, OR DOORWAYS. PROVIDE HOLD-DOWNS PER PLANS AT EACH END OF WALL, UNO. PROVIDE EDGE NAILING TO STUD(S) GRIPPED BY HOLD-DOWN.
  - CRITERIA: 2012 IBC
  - HEM FIR LUMBER  
2500 PSI CONCRETE MINIMUM  
ASTM A307 ANCHOR BOLTS WITH 2x3" EDGE DISTANCE IN CONCRETE AND 7" MINIMUM EMBEDMENT
  - INSTALL 3x3/4" PL WASHERS AT ALL ANCHOR BOLTS, BETWEEN THE NUT AND THE SILL PLATE. USE 4/8"x4/8"x3/4" PL WASHERS WHERE 2x6 STUD WALLS ARE SHEATHED ON BOTH SIDES. ALL PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE(S) WITH SHEATHING.
  - AT SHEARWALLS WHERE SHEATHING MAY EXTEND VERTICALLY TO OVERLAP WITH RIMBOARD/BLOCKING ABOVE, IT IS ACCEPTABLE TO NAIL SHEATHING TO RIMBOARD/BLOCKING WITH EDGE NAILING AS SPECIFIED IN TABLE ABOVE AND ELIMINATE THE A35 CLIPS BETWEEN THE RIMBOARD/BLOCKING AND WALL TOP PLATE.
  - FASTENERS IN CONTACT WITH TREATED WOOD SHALL BE CORROSION RESISTANT.
  - 1/2" MIN LSL RIM BOARD AND SINGLE SILL PLATE ARE ASSUMED. IF RIM MATERIAL IS DIFFERENT, NOTIFY ENGINEER FOR REVISED SCHED. IF (2)2x SILL PLATES ARE USED, USE SDS 0.220"x6" SCREWS. CONTRACTOR CAN SELECT EITHER NAILS OR SCREWS.
  - (2)2x STUDS AND SILL PLATES CAN BE USED INSTEAD OF 3x MEMBERS. (2)2x STUDS WILL NEED TO BE FASTENED TOGETHER WITH EITHER NAILS OR SCREWS AS CALLED OUT.



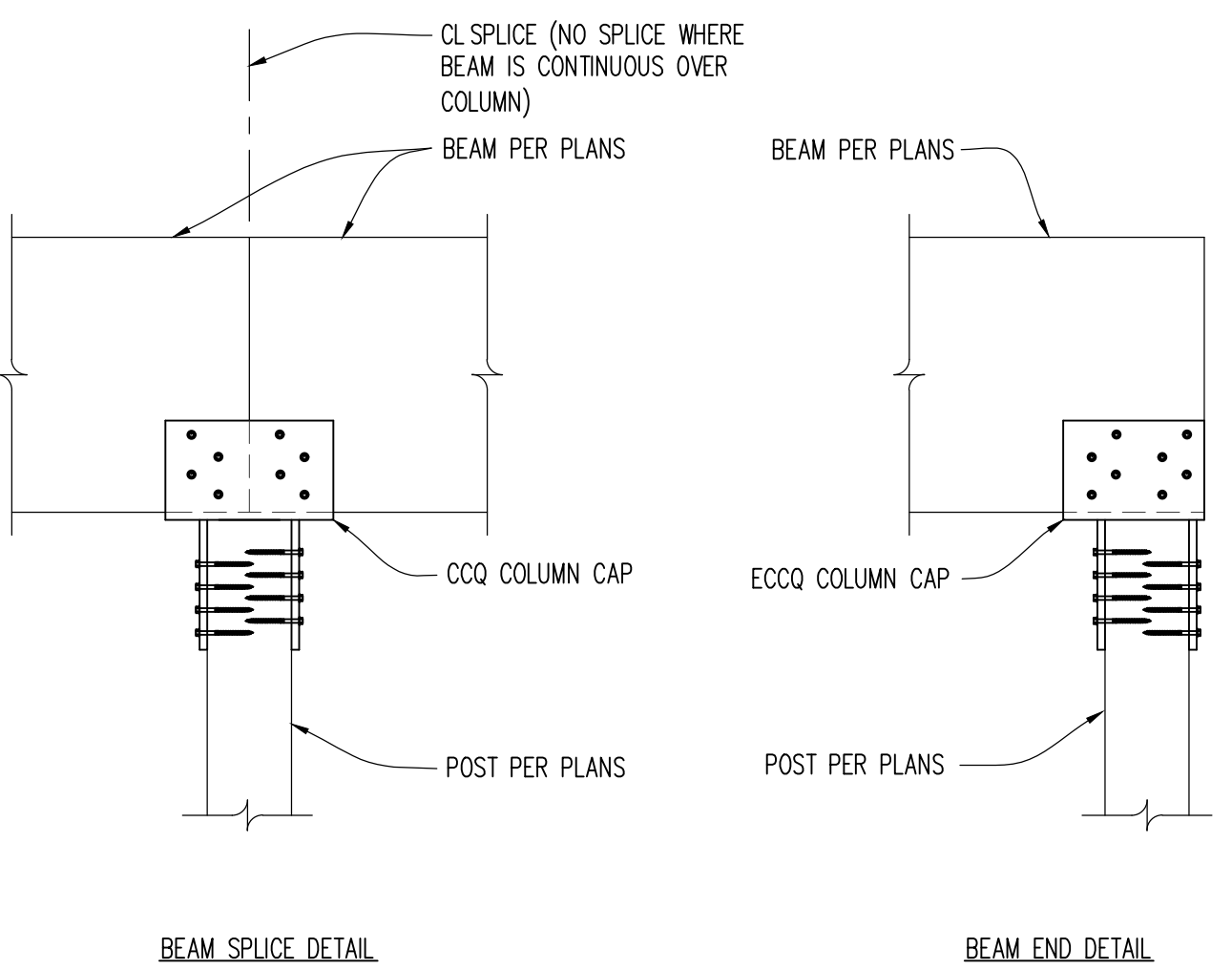
SHEAR WALL SCHEDULE (HEM FIR LUMBER)

| MARK   | FASTENERS TO CONCRETE         |       | FASTENERS TO WOOD STUDS OR POSTS |                             | CHORD MEMBER SEE NOTES 2 AND 4 | ANCHOR ALLOWABLE LOAD (LBS) |
|--------|-------------------------------|-------|----------------------------------|-----------------------------|--------------------------------|-----------------------------|
|        | ANCHOR # SEE NOTES 1, 5, 6, 7 | BOLTS | SDS 3/4" x 2 1/2" SCREWS         | 16d COMMON NAILS SEE NOTE 5 |                                |                             |
| MSTC28 | 3" x 16 GA                    | -     | -                                | (16) 16d                    | (2) 2x STUDS                   | 1,330                       |
| MSTC40 | 3" x 16 GA                    | -     | -                                | (32) 16d                    | (2) 2x STUDS                   | 2,655                       |
| MSTC52 | 3" x 16 GA                    | -     | -                                | (48) 16d                    | (2) 2x STUDS                   | 3,985                       |
| MSTC66 | 3" x 14 GA                    | -     | -                                | (68) 16d                    | (2) 2x STUDS                   | 5,850                       |
| HDU2   | 3/8"                          | -     | 6                                | -                           | (2) 2x STUDS                   | 2,215                       |
| HDU4   | 3/8"                          | -     | 10                               | -                           | (2) 2x STUDS                   | 3,285                       |
| HDU5   | 3/8"                          | -     | 14                               | -                           | (2) 2x STUDS                   | 4,340                       |
| HDU8   | 3/8"                          | -     | 20                               | -                           | 6x6 DF                         | 7,870                       |
| HDU11  | 1"                            | -     | 30                               | -                           | 6x6 DF                         | 9,335                       |
| HDU14  | 1"                            | -     | 36                               | -                           | 6x6 DF                         | 14,445                      |

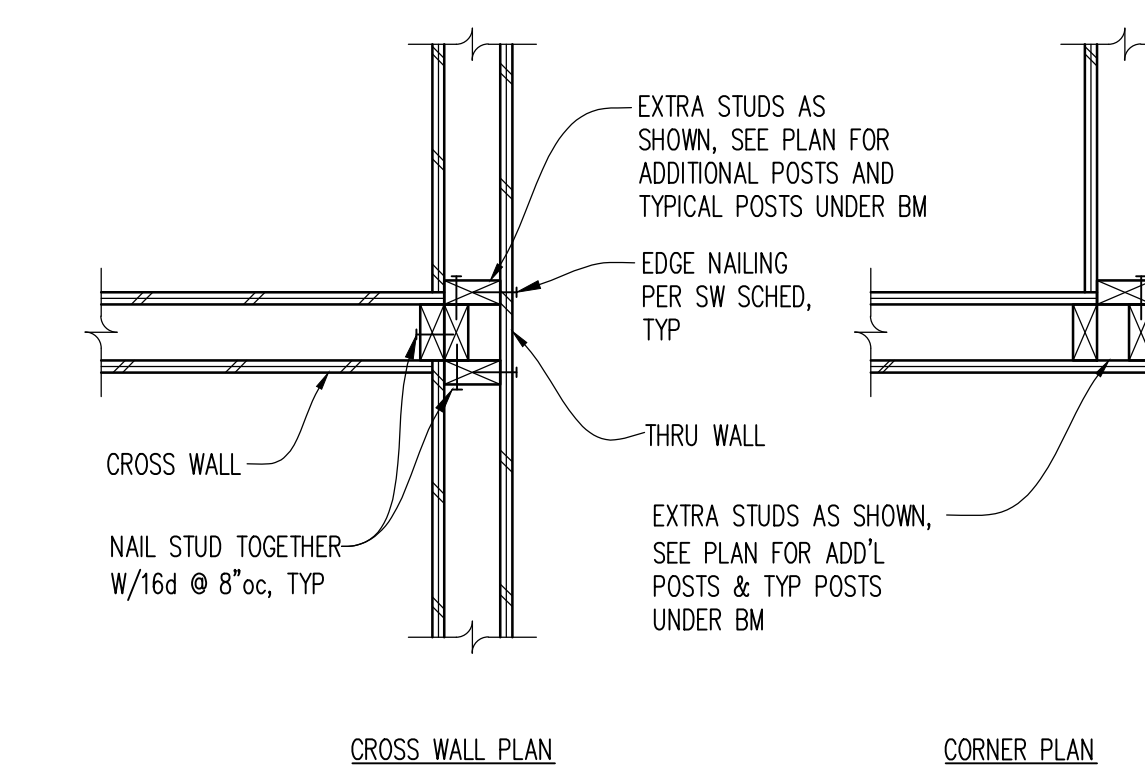
- NOTES:
- PROVIDE ASTM F1554 OR 36 HEAVY SQUARE HEAD ANCHORS FOR ALL HOLD-DOWNS.
  - WOOD MEMBERS (MIN), ABOVE AND BELOW WHERE STRAP OR HOLD-DOWN OCCURS AT FLOOR LEVEL.
  - HOLD-DOWN SCHEDULE IS PROVIDED FOR GENERAL INSTALLATION INFORMATION. NOT ALL HARDWARE SCHEDULED IS REQUIRED. SEE PLANS FOR HOLD-DOWN CALL-OUTS AND LOCATIONS. CONSULT MANUFACTURER FOR ADDITIONAL INFORMATION.
  - IF SHEAR WALL REQUIRES 3x STUDS, USE MIN (2) 3x STUDS INSTEAD OF (2) 2x STUDS.
  - QUANTITY OF NAILS FOR STRAPS ARE EVENLY DIVIDED BETWEEN ENDS OF STRAPS ABOVE AND BELOW THE DEPTH OF THE FLOOR SYSTEM. USE 16d COMMON NAILS.
  - WHERE HOLD-DOWN OCCURS ATOP BEAM WITH NO STRUCTURE BELOW, SEE DETAIL 19/S4.1.
  - HOLD-DOWN DETAIL AT FLOOR-TO-FLOOR HOLD-DOWNS CONDITION PER 5/S4.2.
  - STRAP DETAIL AT FLOOR-TO-FLOOR STRAP CONDITION PER 8/S4.2.
  - IBC 2015, Fc = 2,500 PSI, HEM-FIR LUMBER.



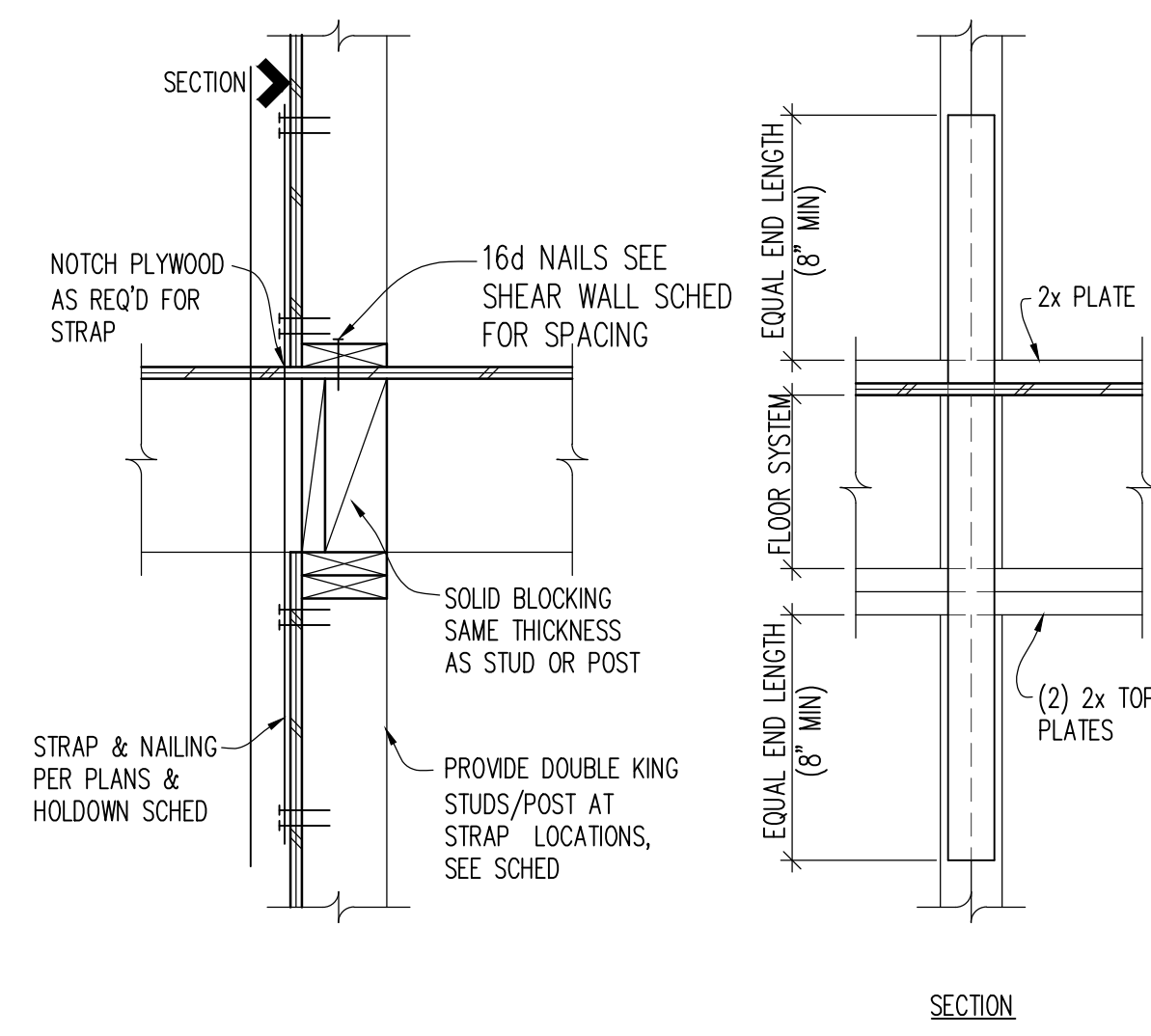
TYPICAL OUTRIGGER



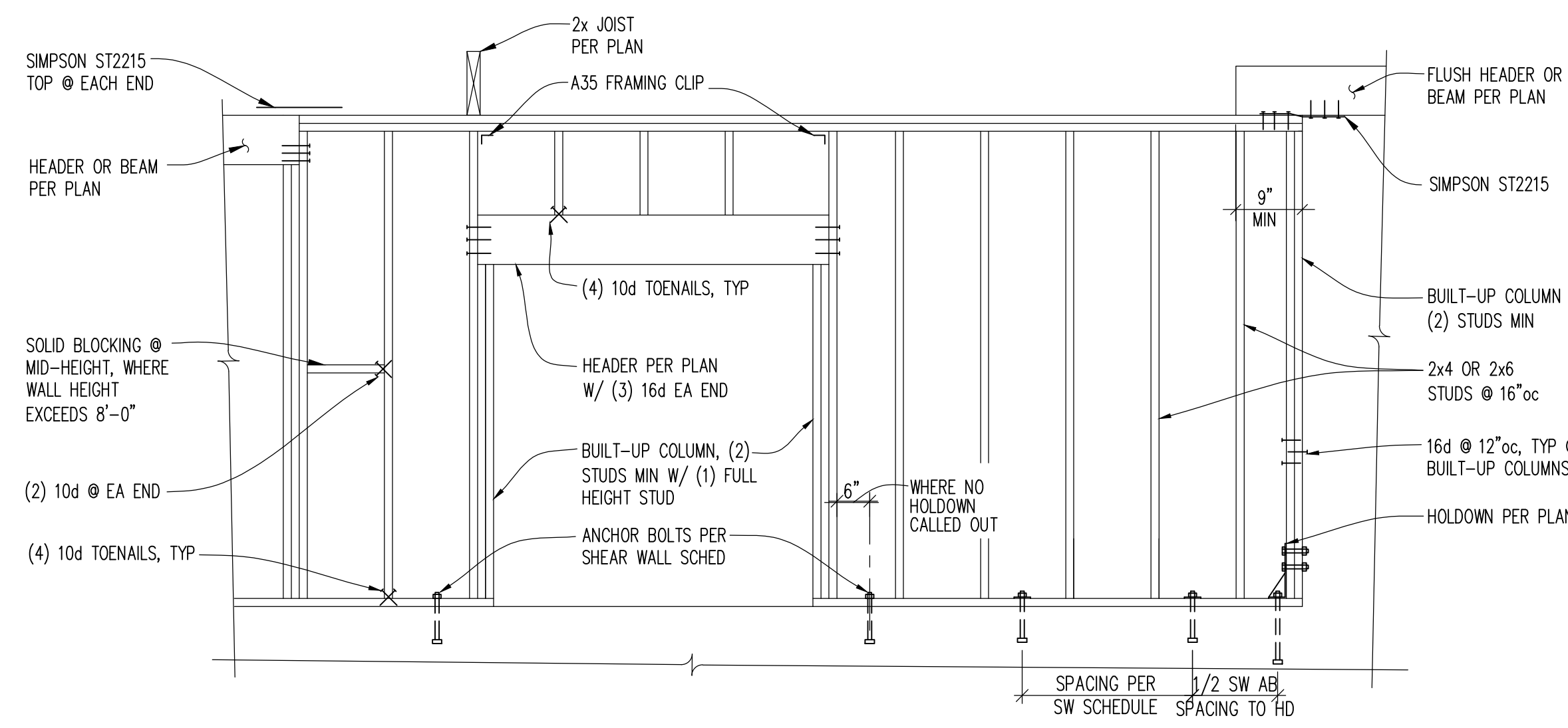
TYP WALL DETAIL



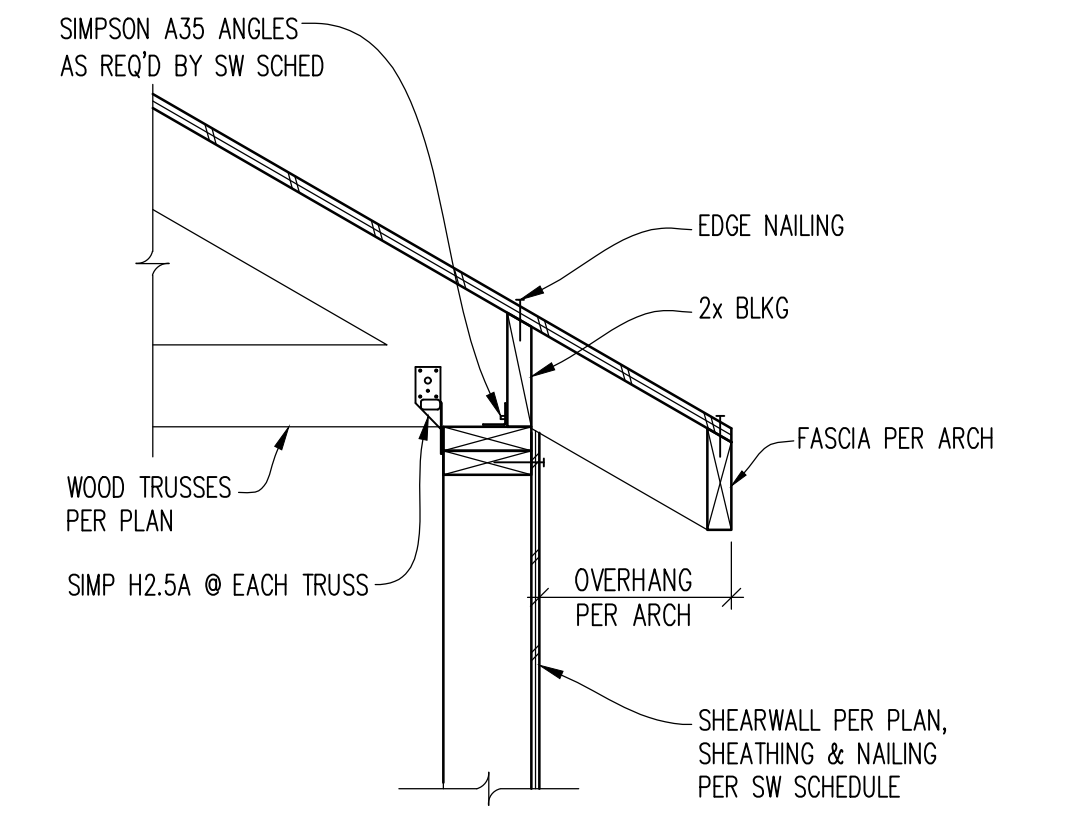
FLOOR TO FLOOR HOLD-DOWN STRAP



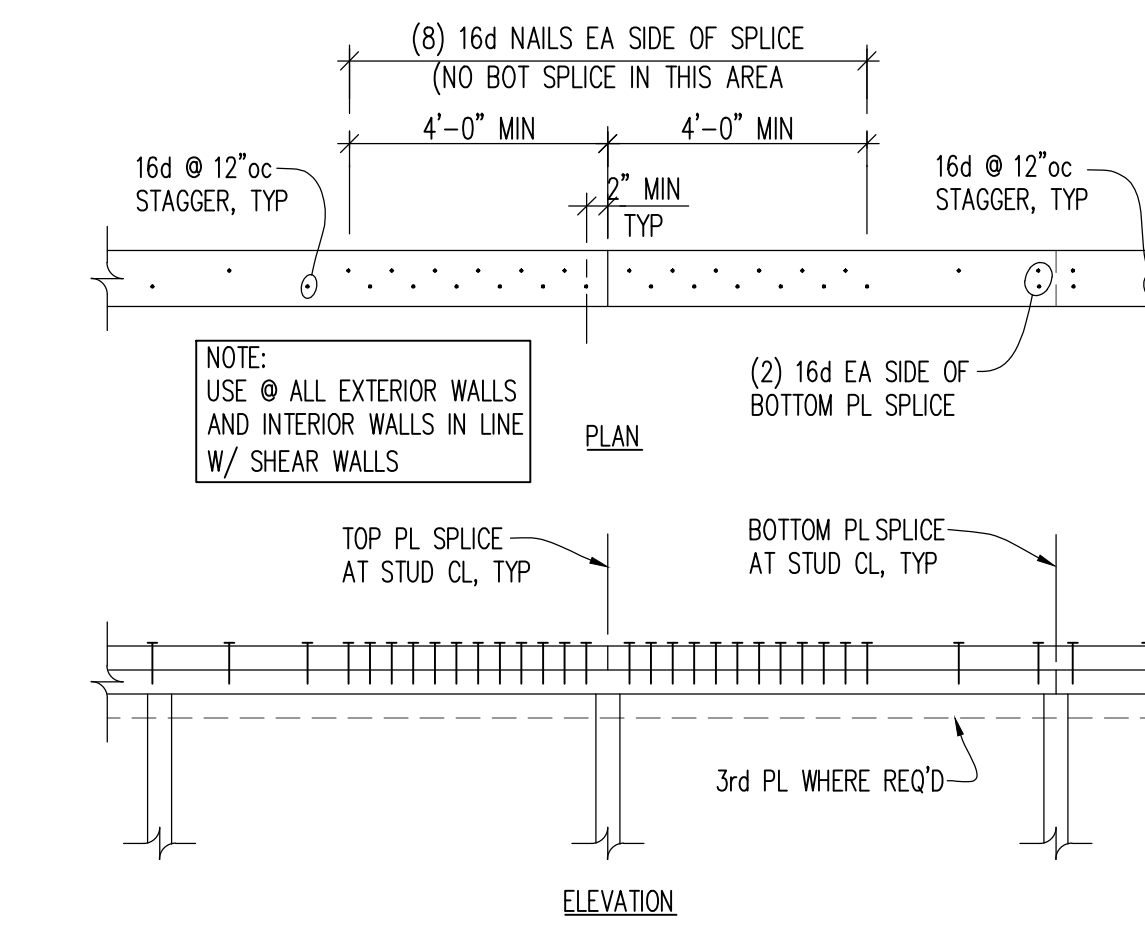
SHEAR WALL SCHEDULE (HEM FIR LUMBER)



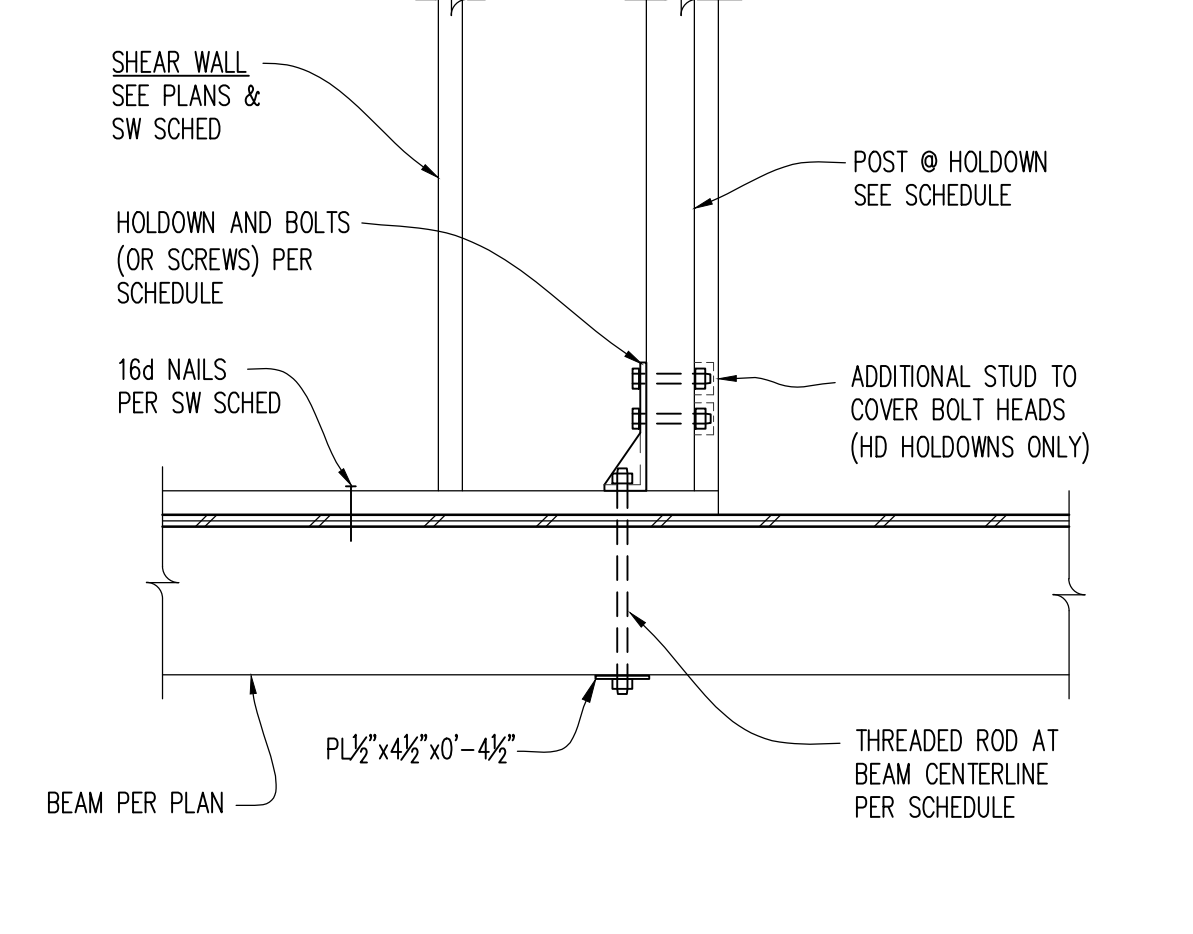
TYP. COLUMN CAP DETAILS



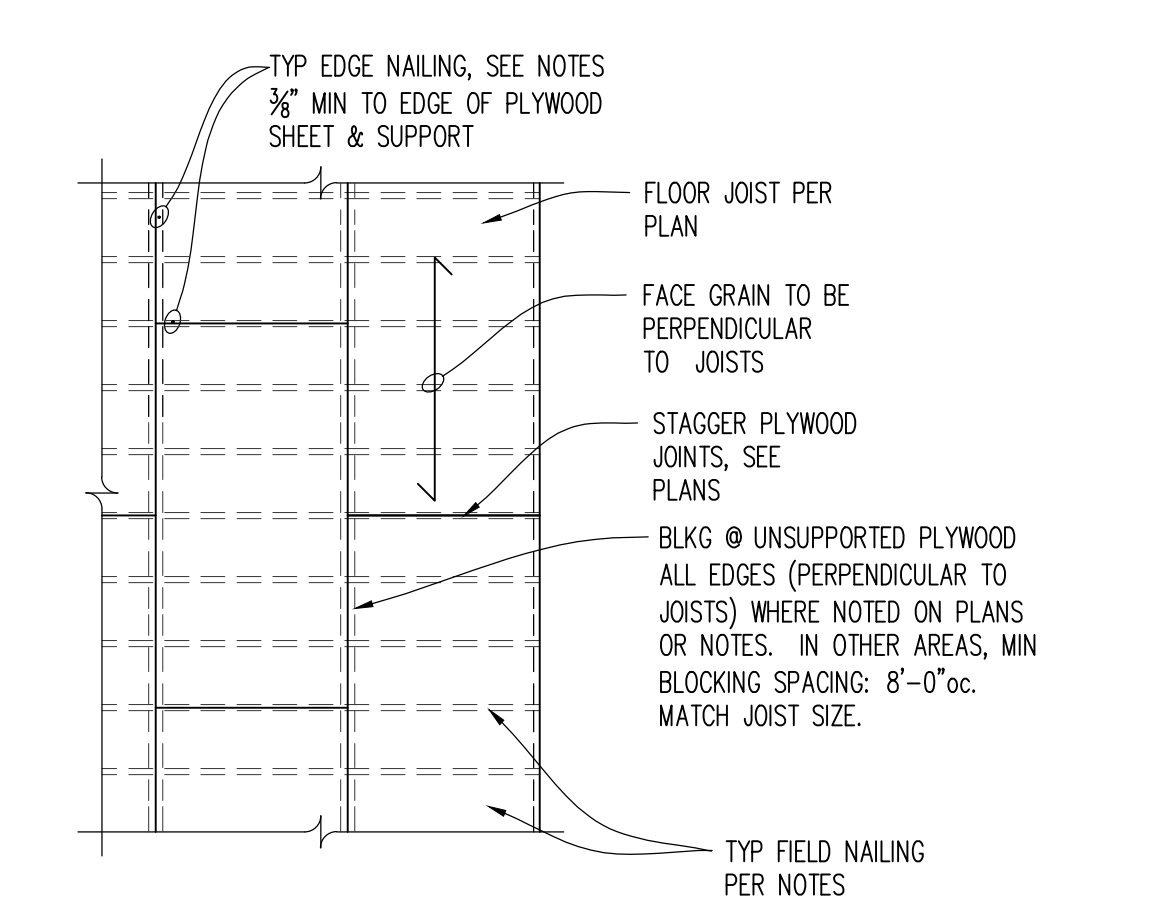
TYPICAL SHEAR WALL INTERSECTION



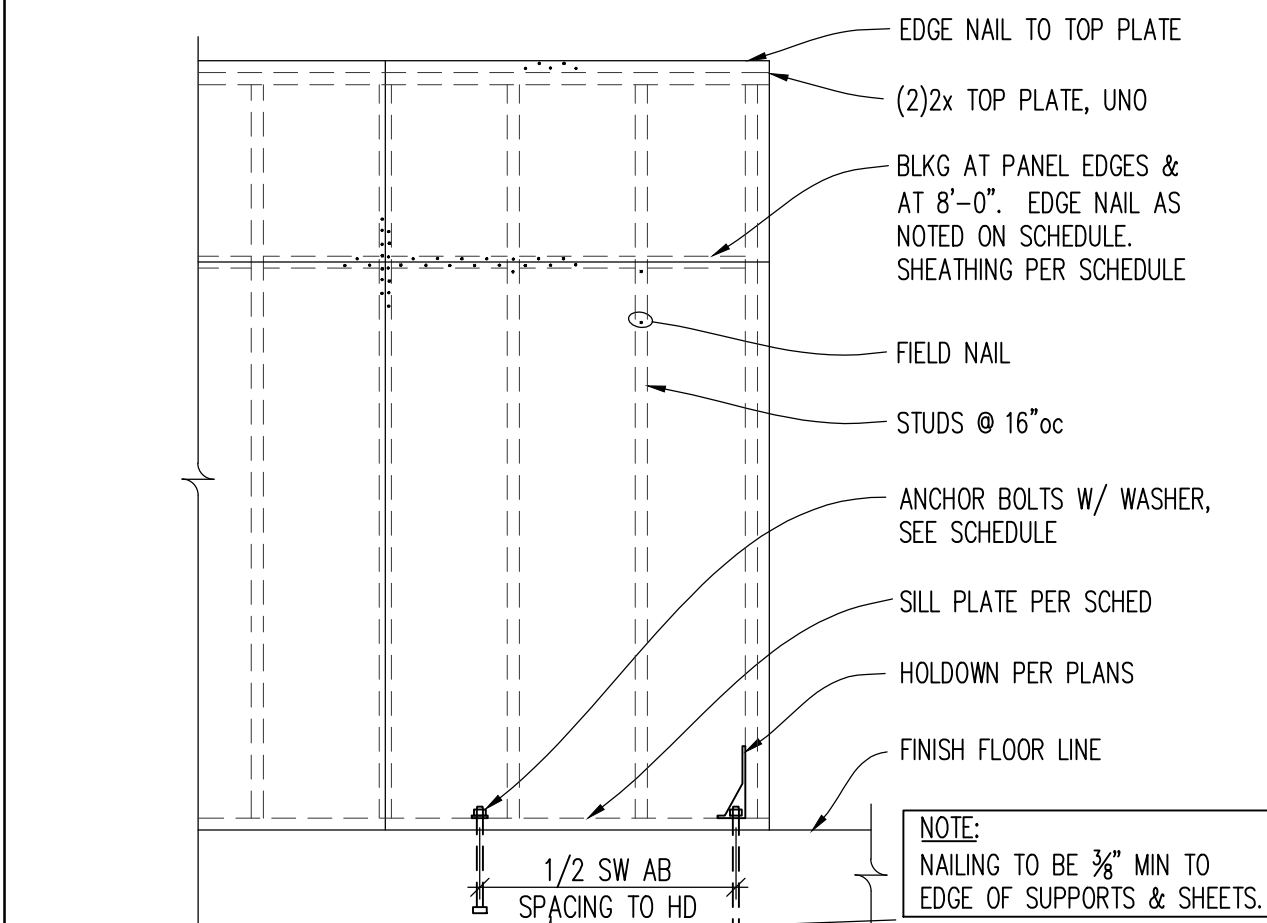
DETAIL



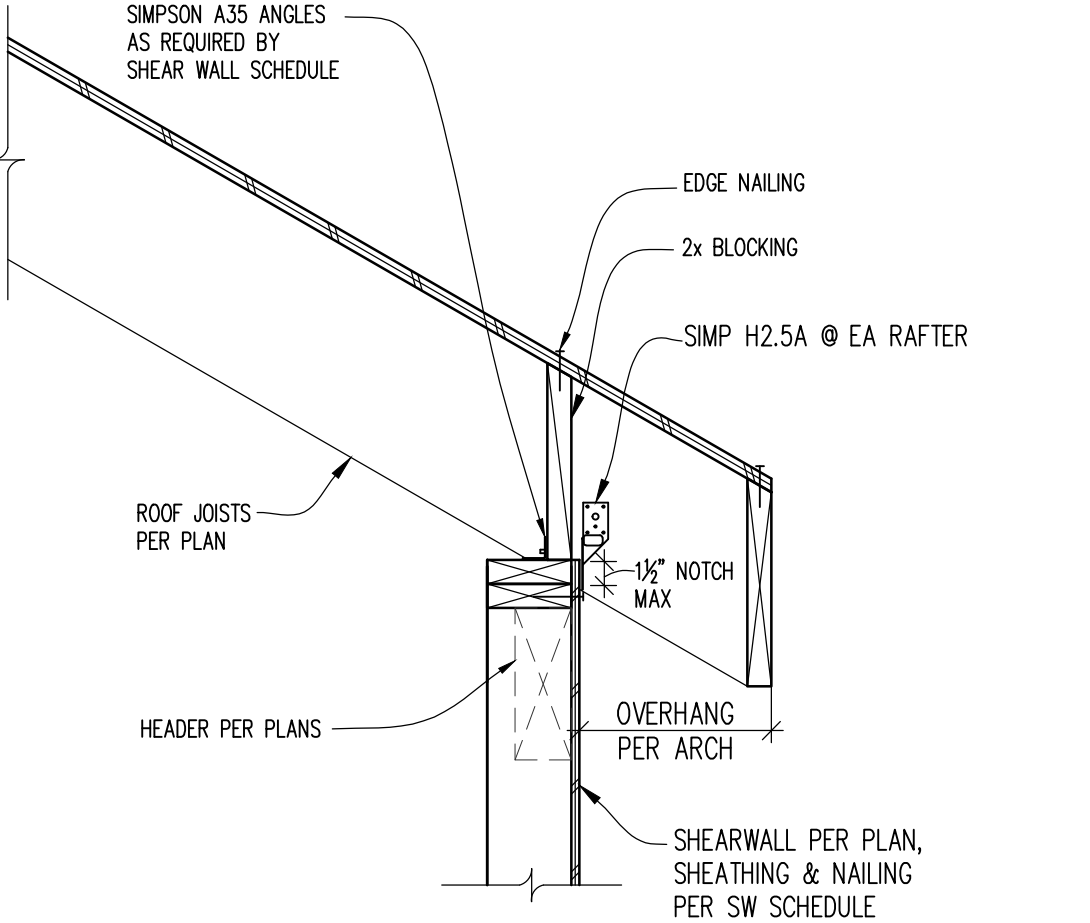
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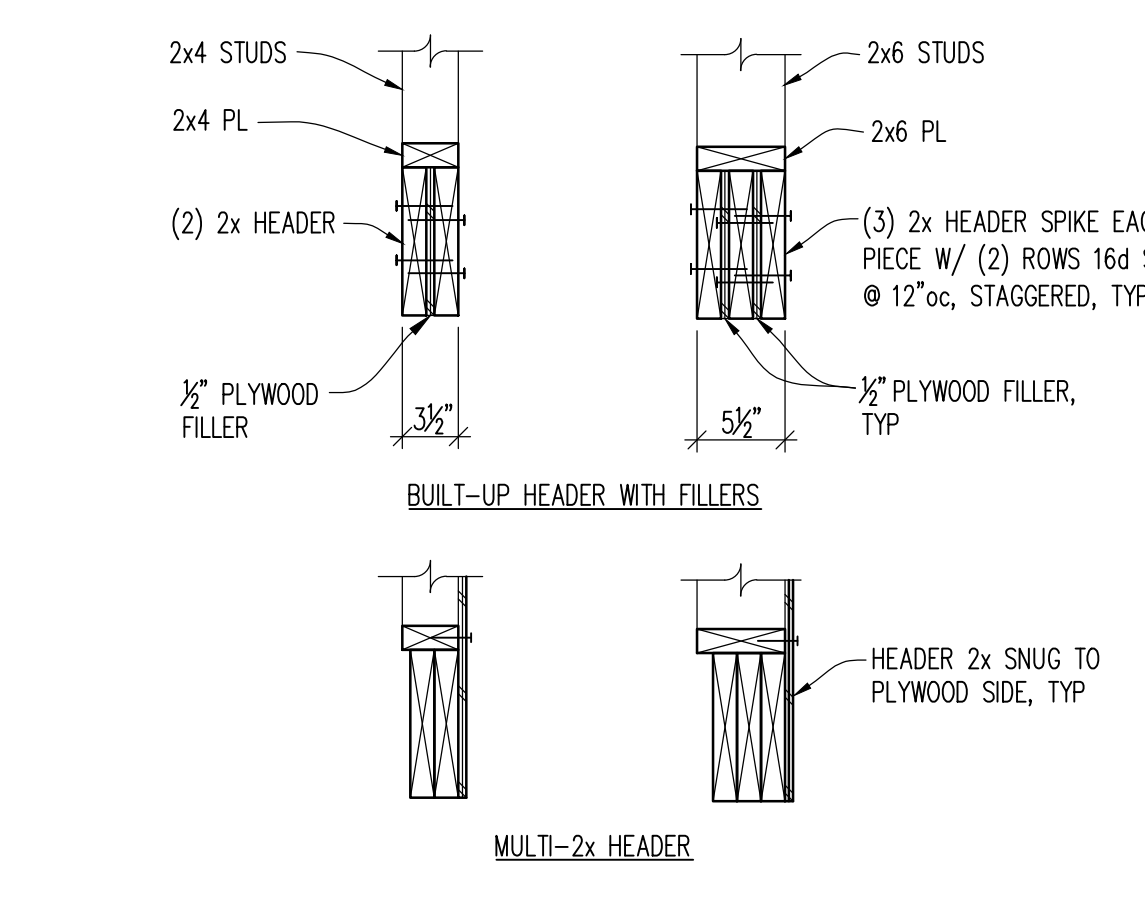
TYPICAL SHEAR WALL SHEATHING



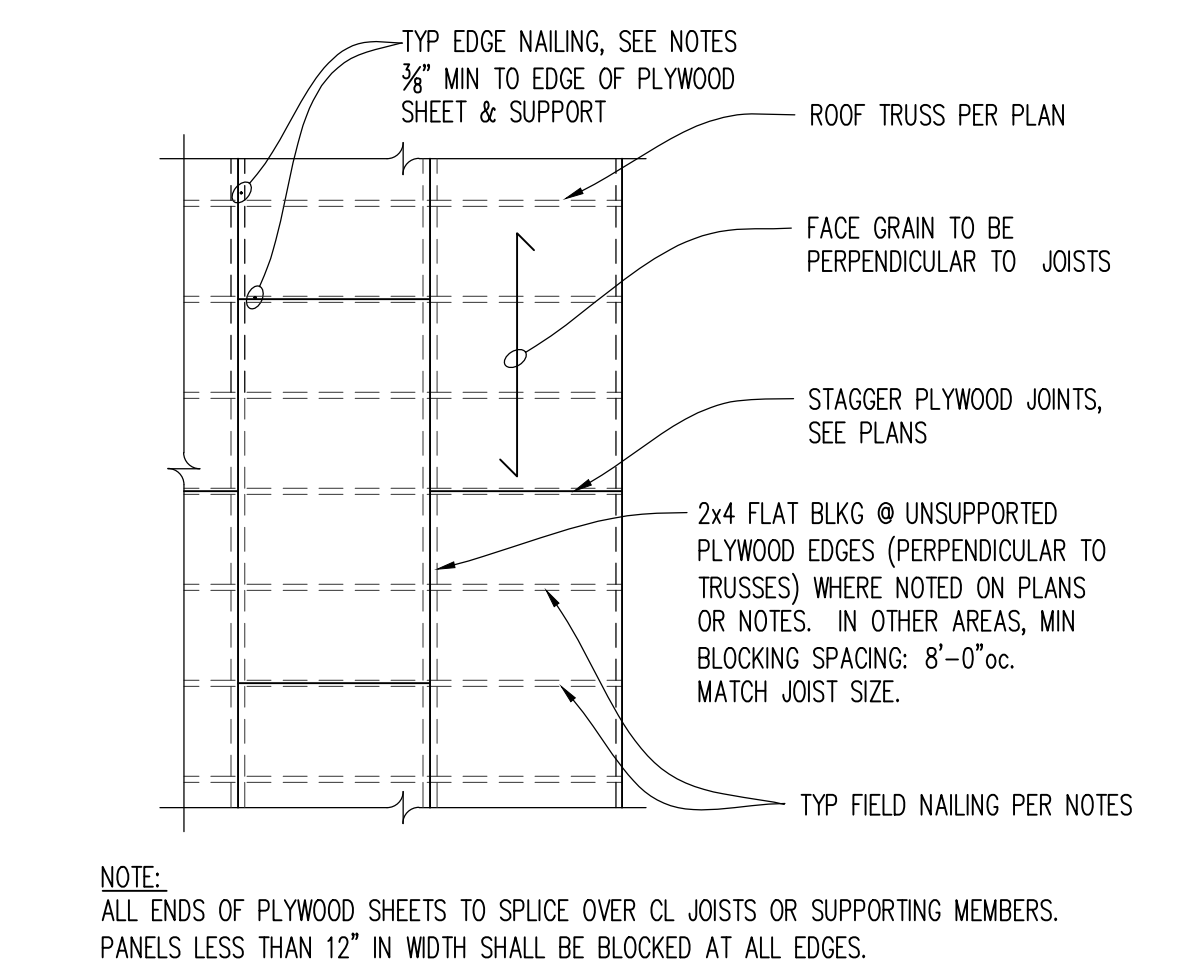
TYPICAL DOWNWARD EAVE



TYP STUD WALL TOP PLATE SPLICE



TYPICAL ROOF SHEATHING



TYPICAL FLOOR SHEATHING

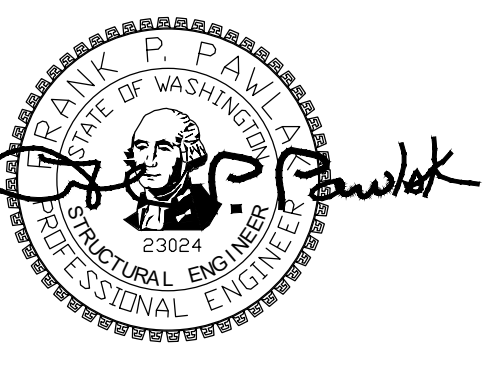
TYPICAL FLOOR SHEATHING

TYPICAL SHEAR WALL SHEATHING

TYPICAL DOWNWARD EAVE

TYPICAL BUILT-UP HEADER SECTIONS

| REVISIONS |         |
|-----------|---------|
| NO.       | DATE    |
| 114-20    | PERMIT  |
| 20-129    | JOB #   |
| AM        | DESIGN  |
| LMS       | DRAWN   |
| FPP       | CHECKED |
| AS NOTED  | SCALE   |



PROJECT

9820 SE 35TH PLACE  
ACHIN & MARY CHEN  
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| REVISIONS |        |
|-----------|--------|
| NO.       | DATE   |
| 11/4-20   | PERMIT |
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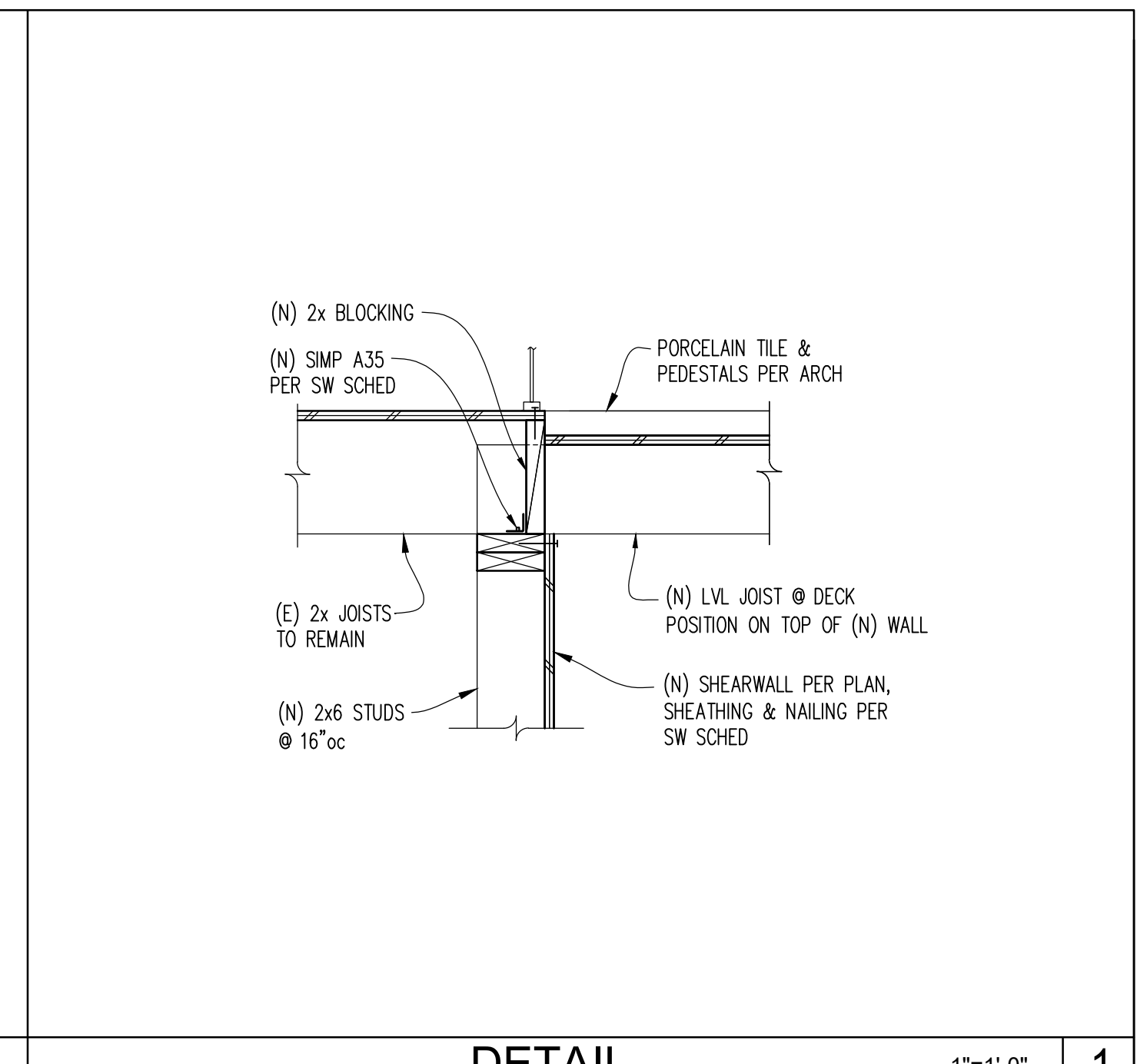
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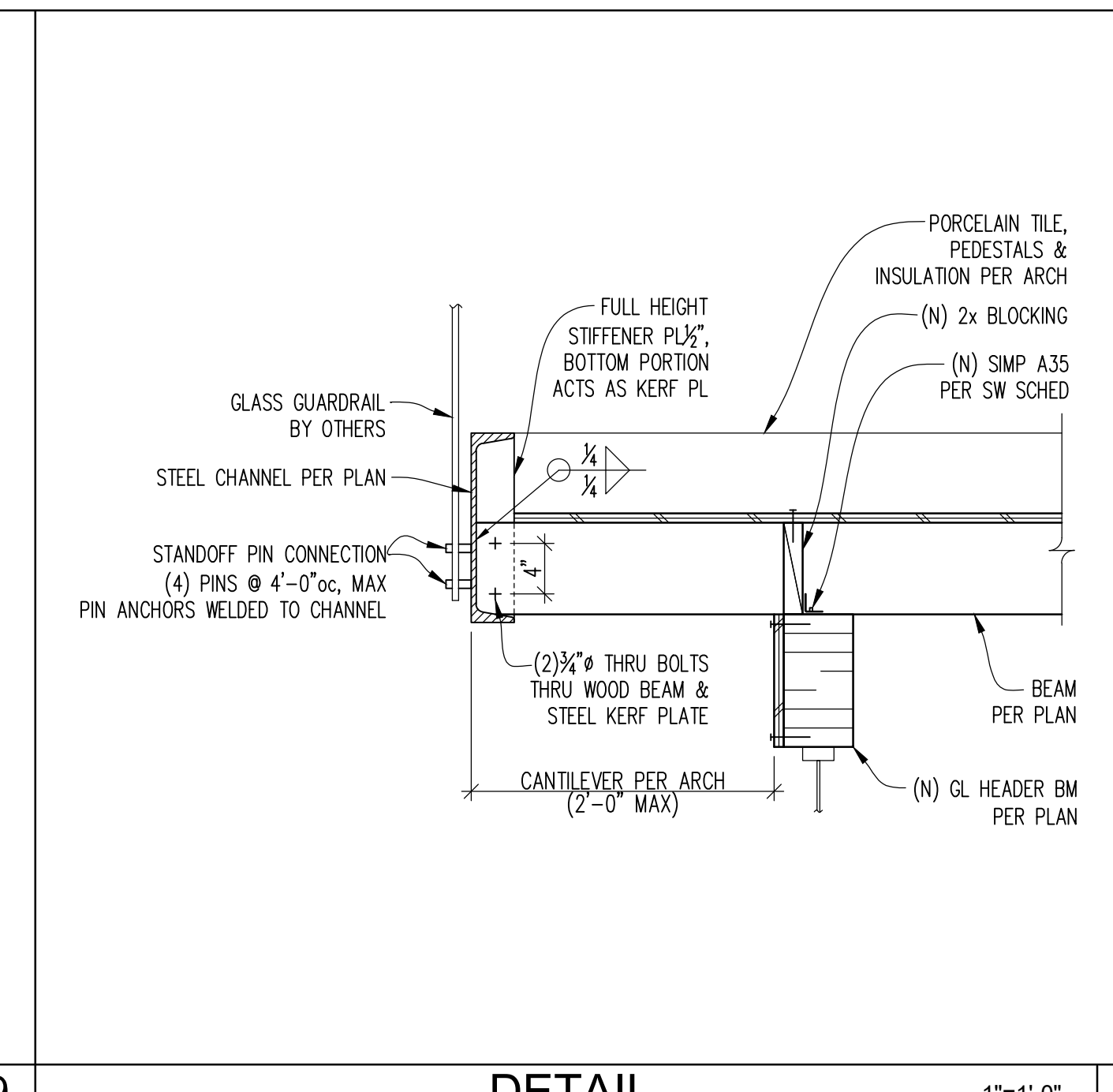
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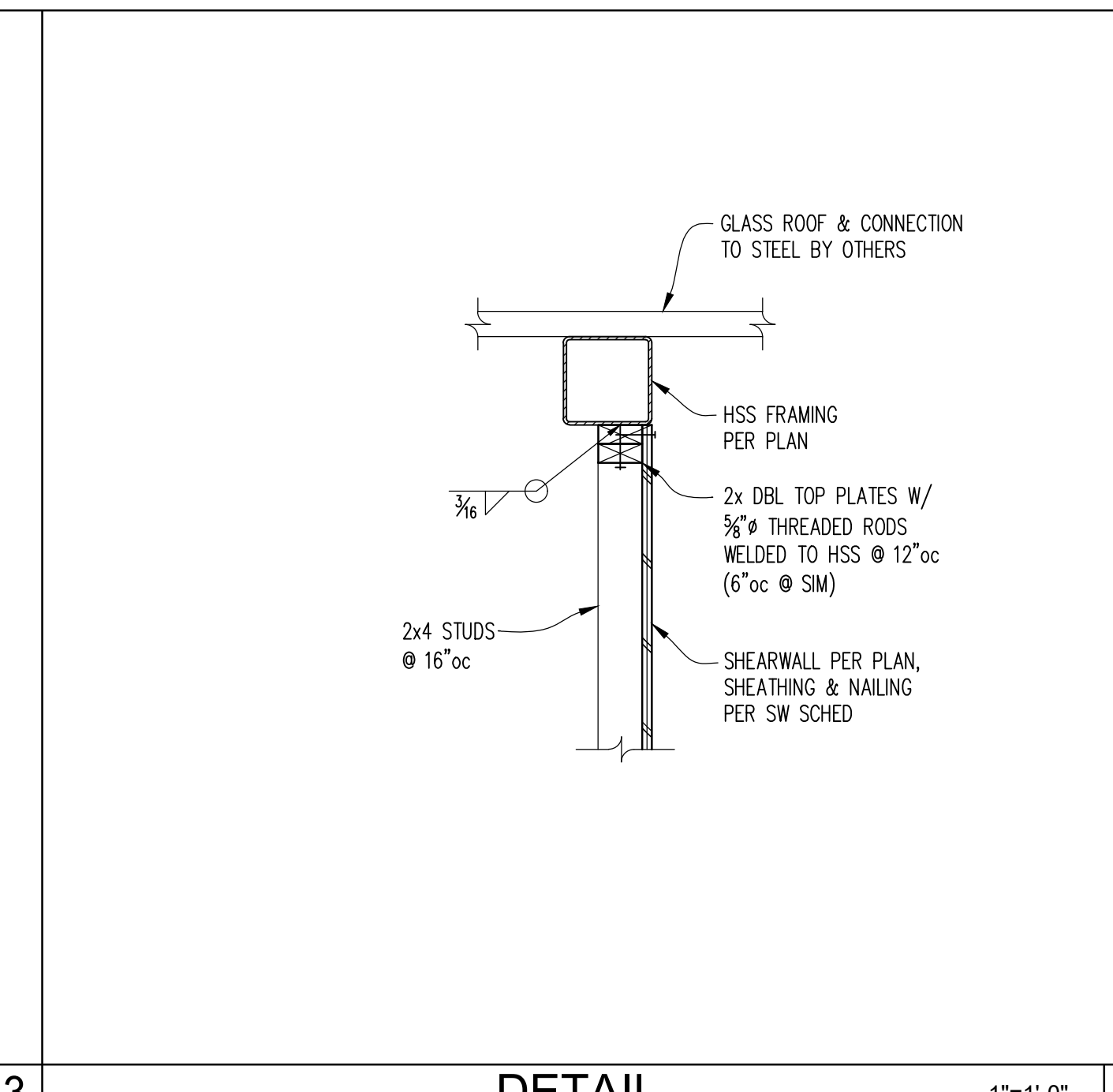
S4.2



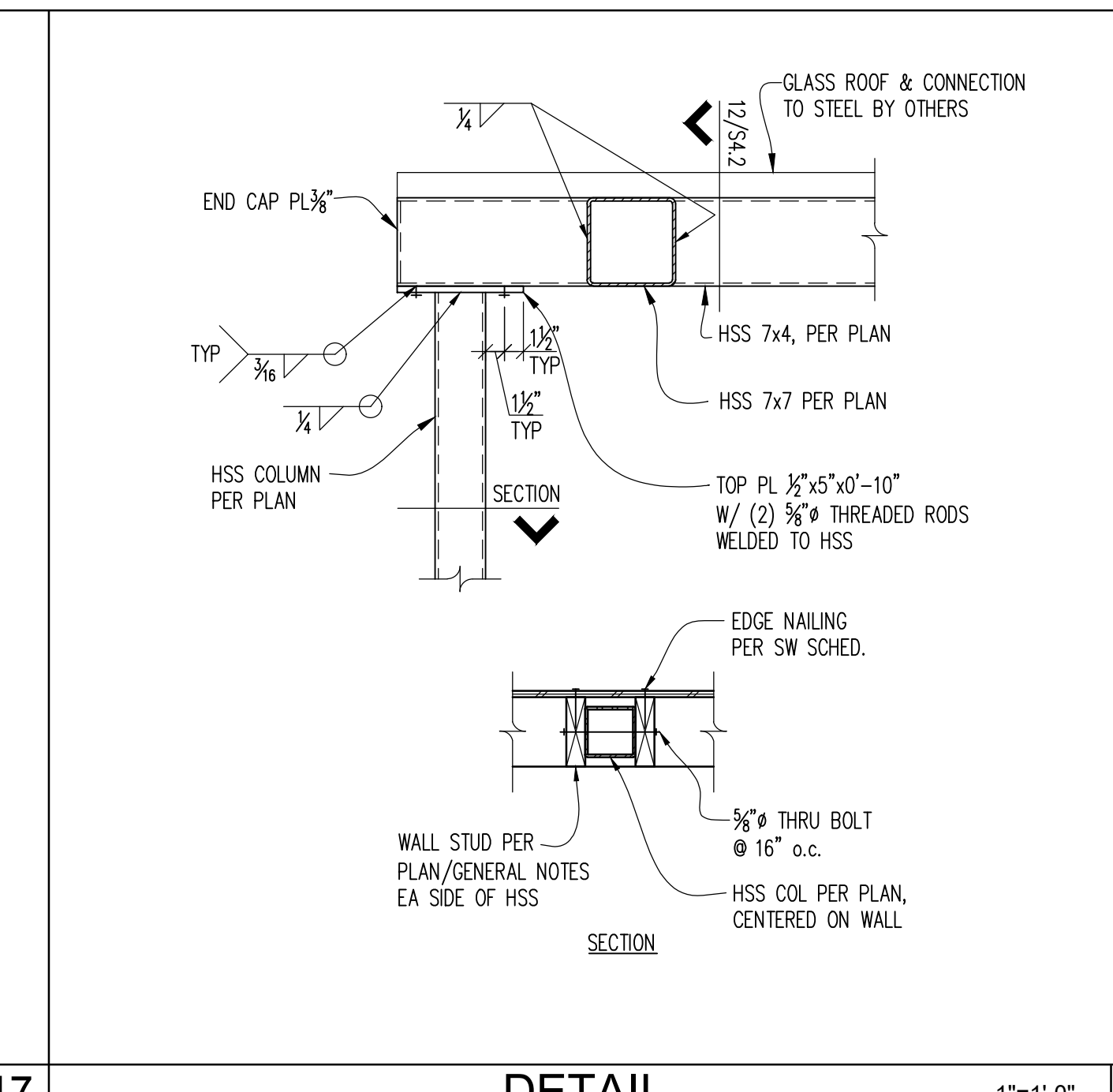
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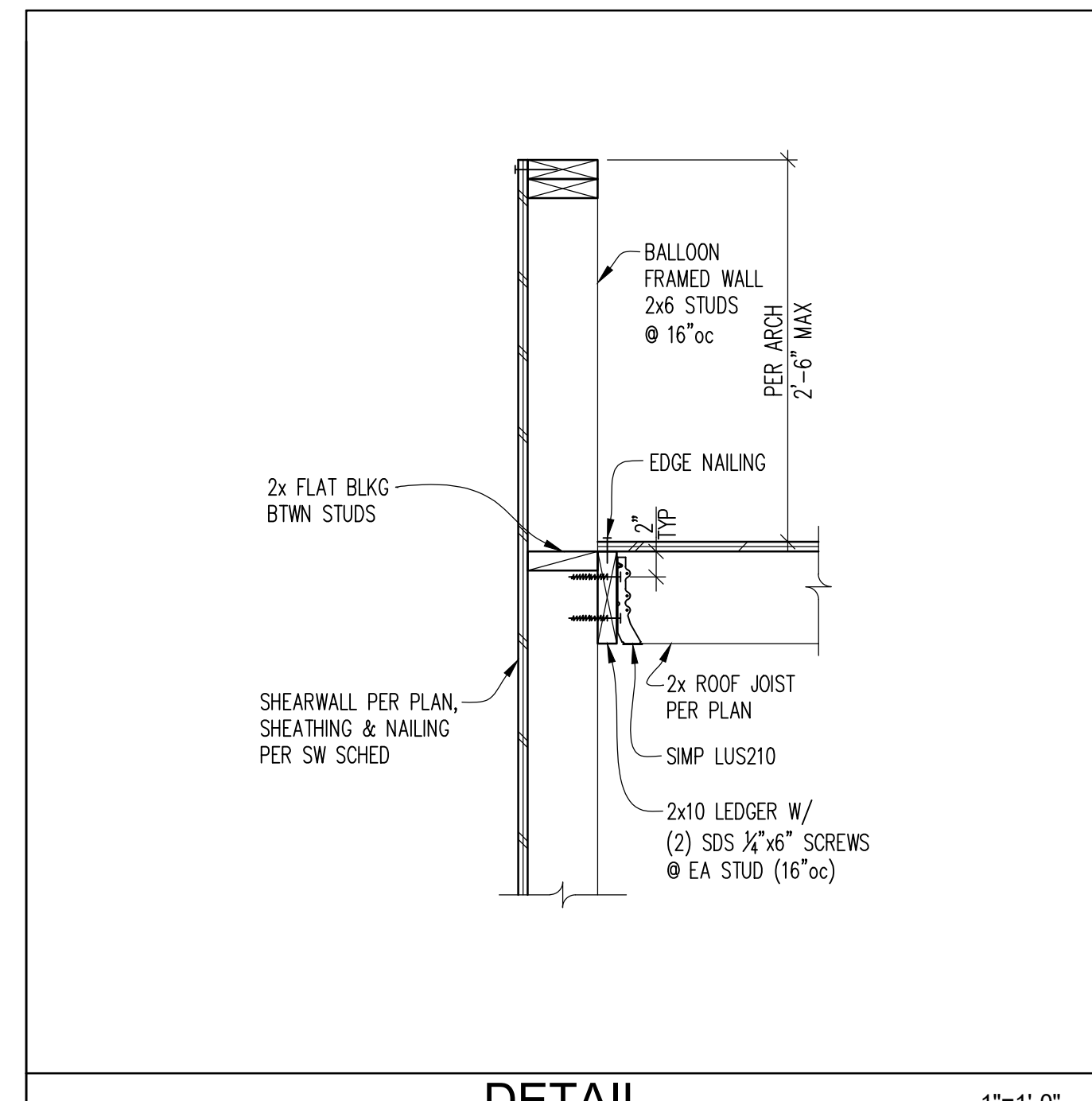
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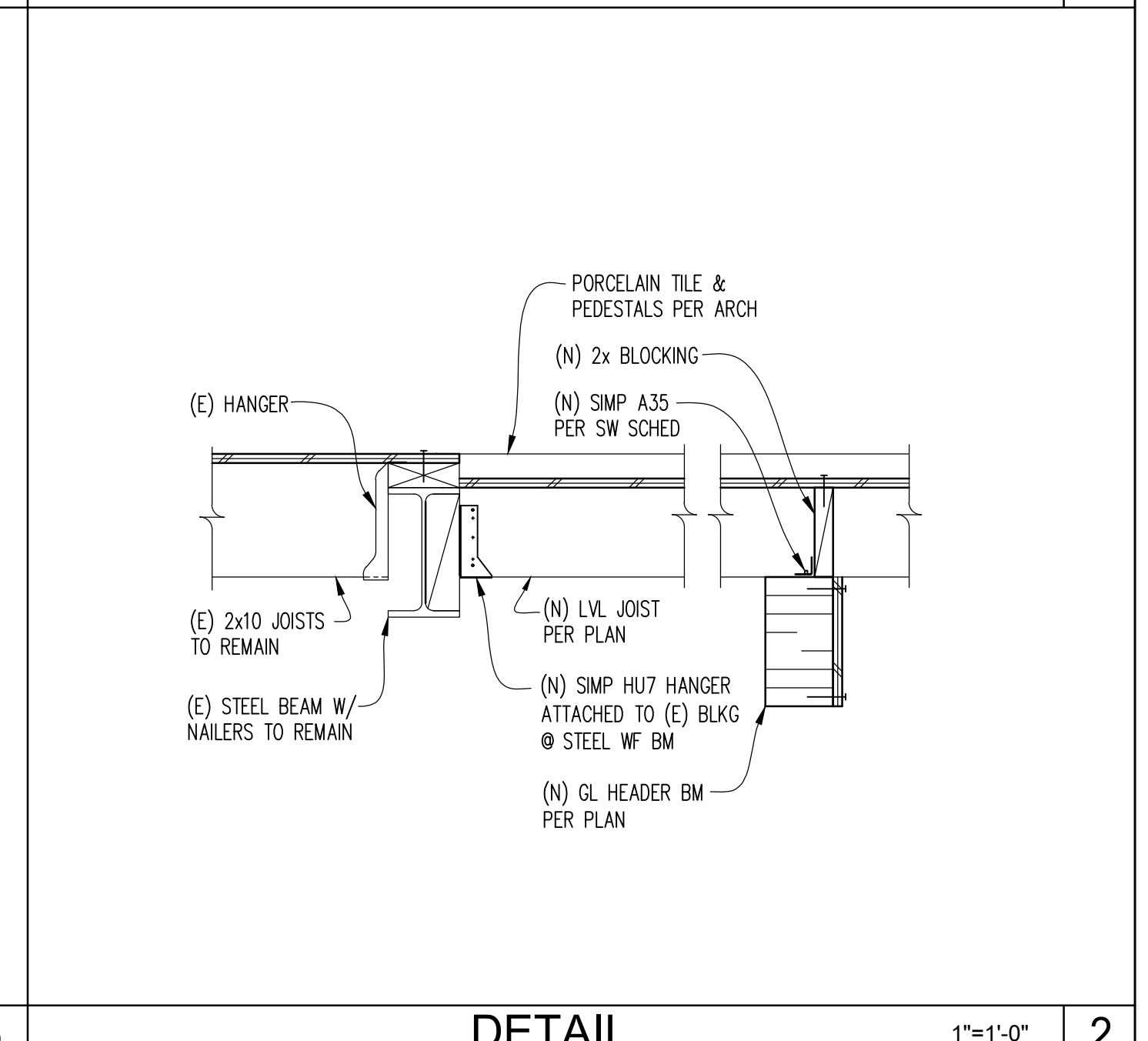
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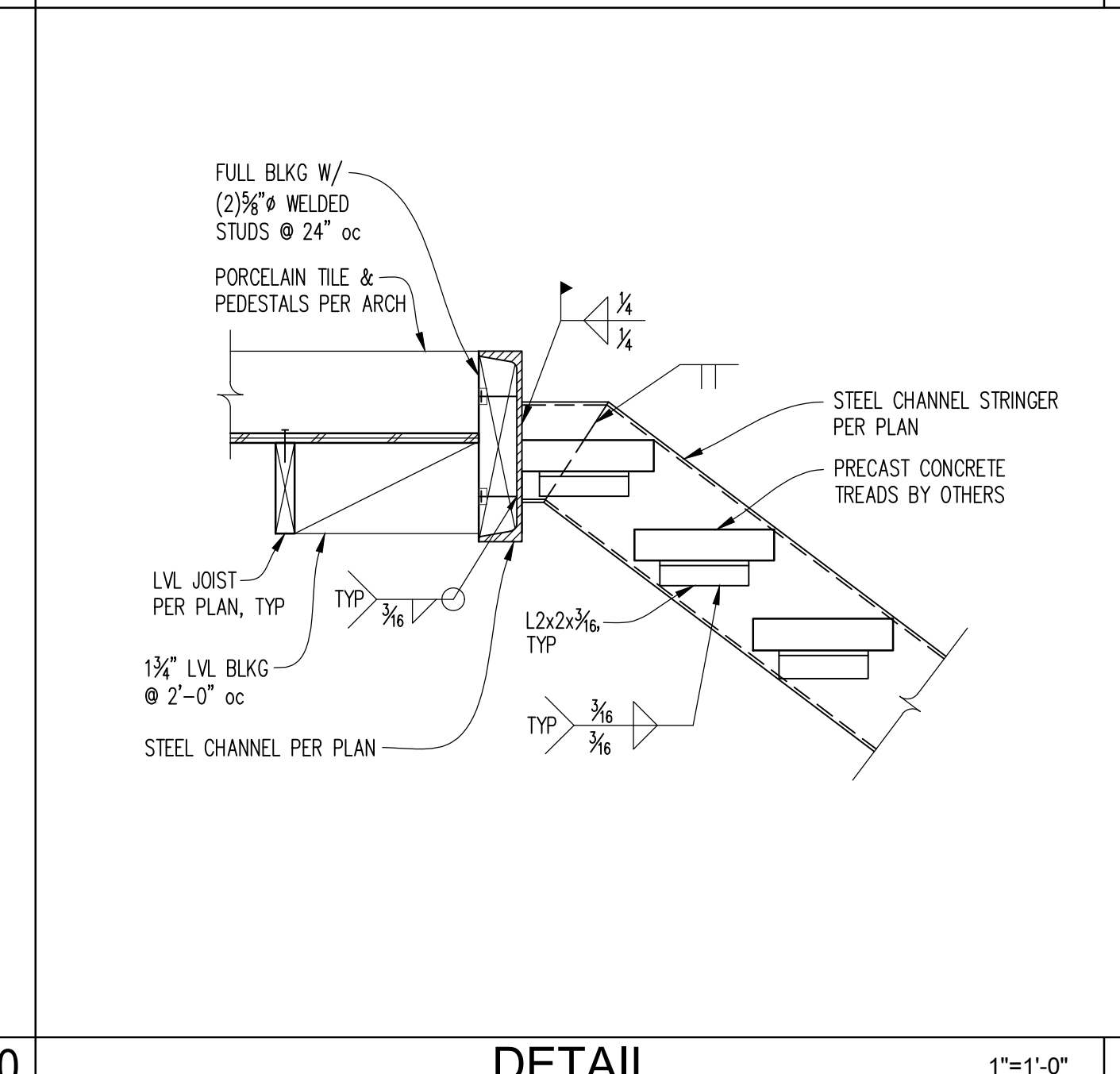
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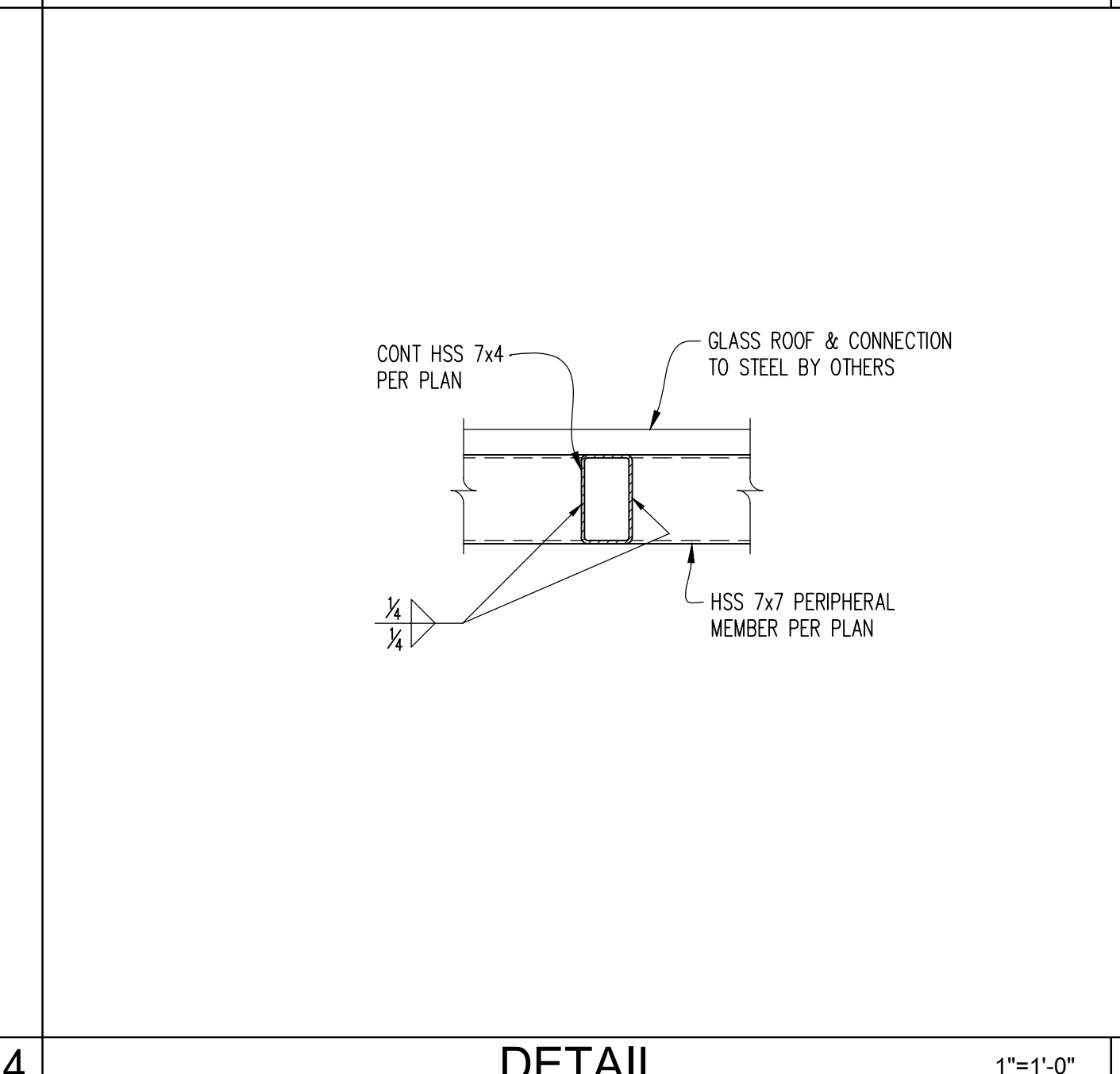
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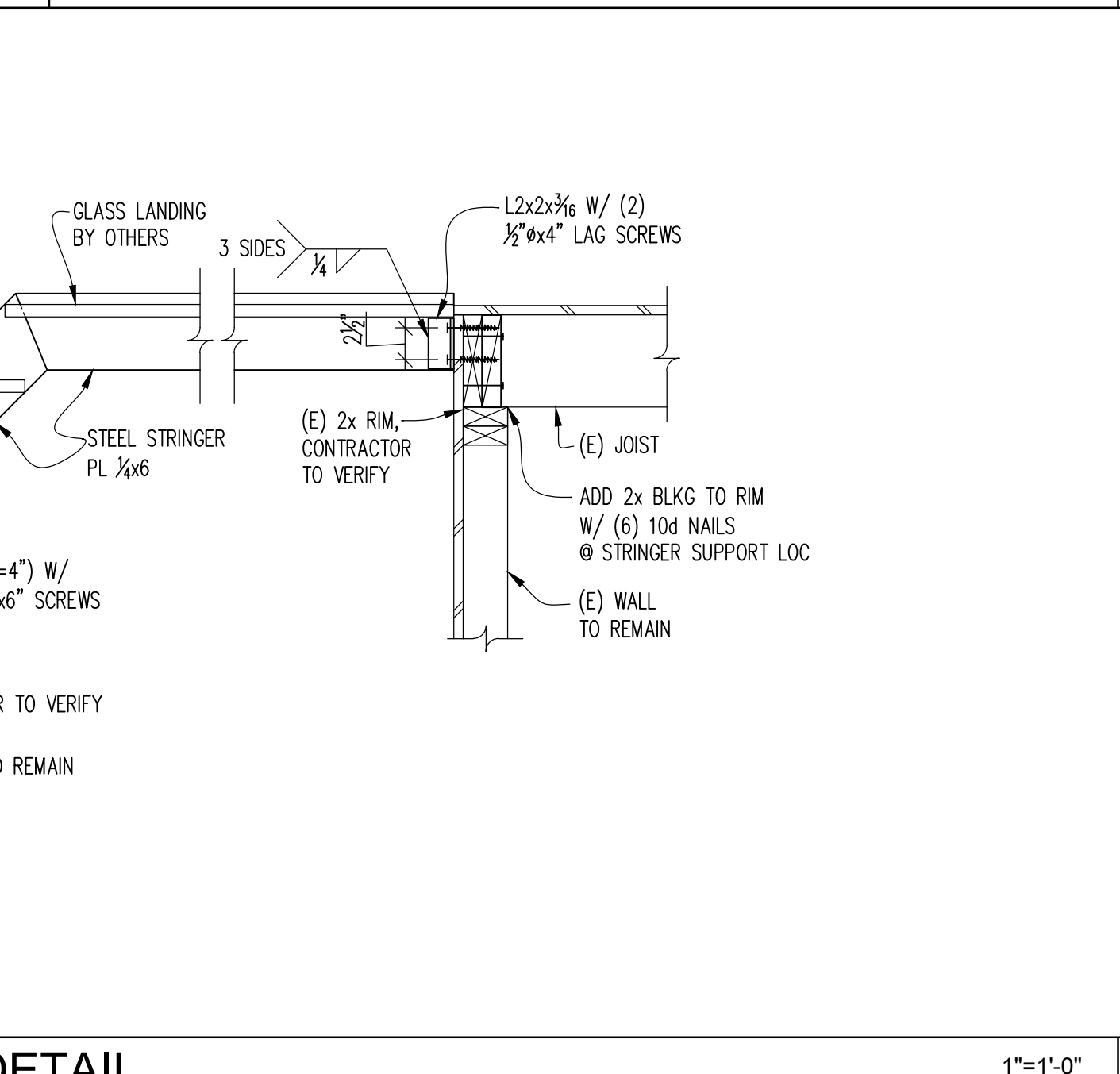
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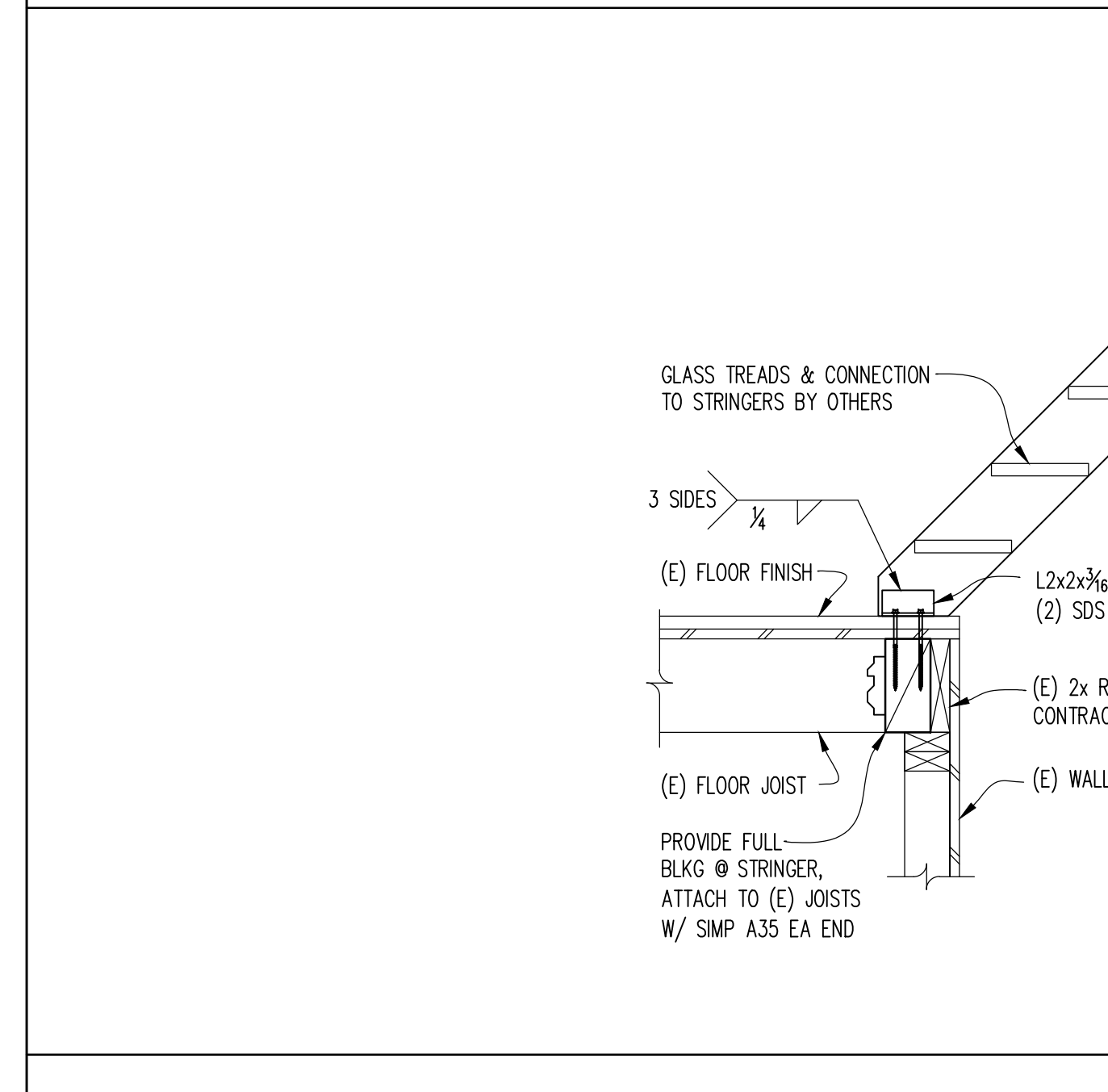
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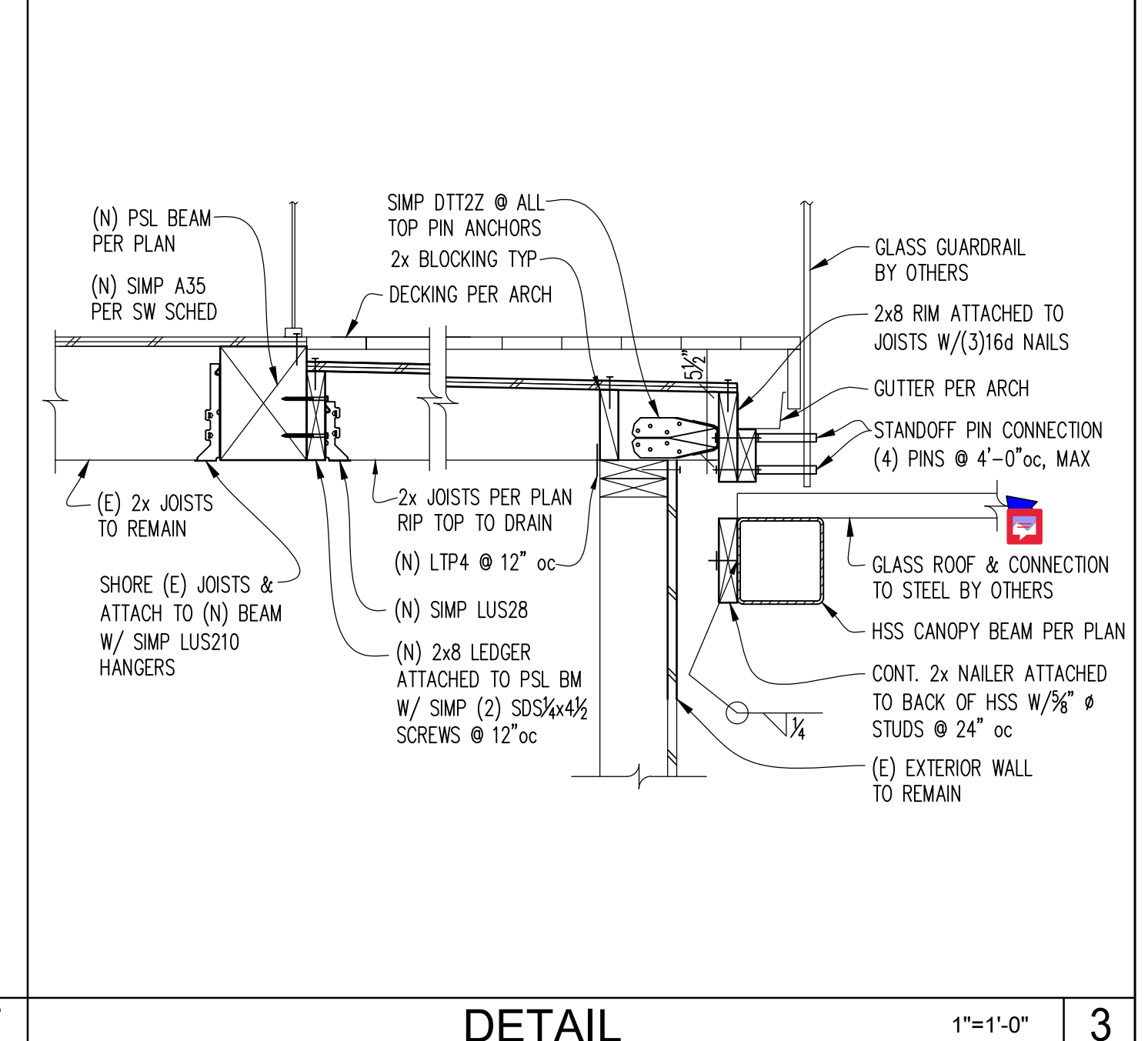
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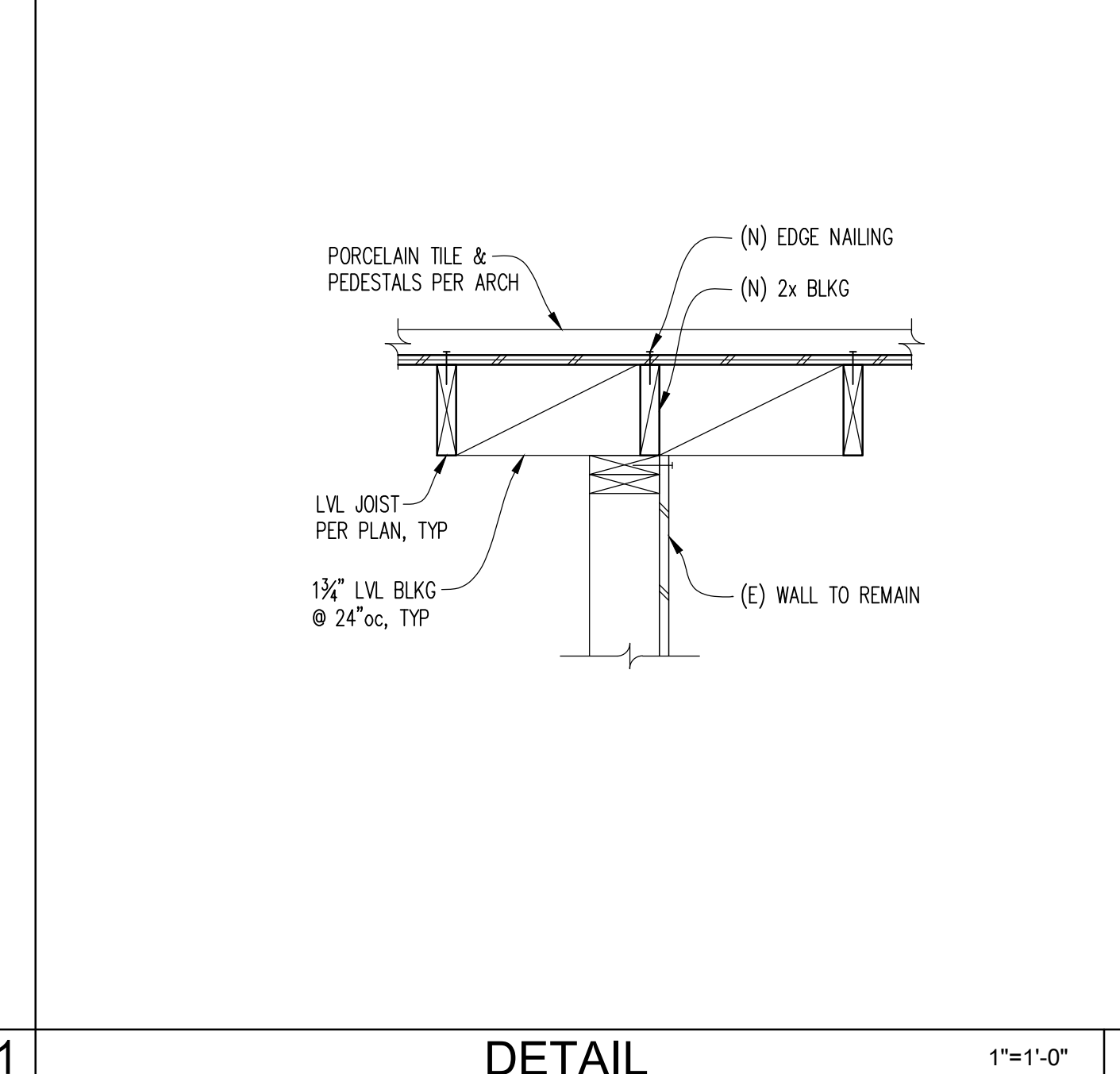
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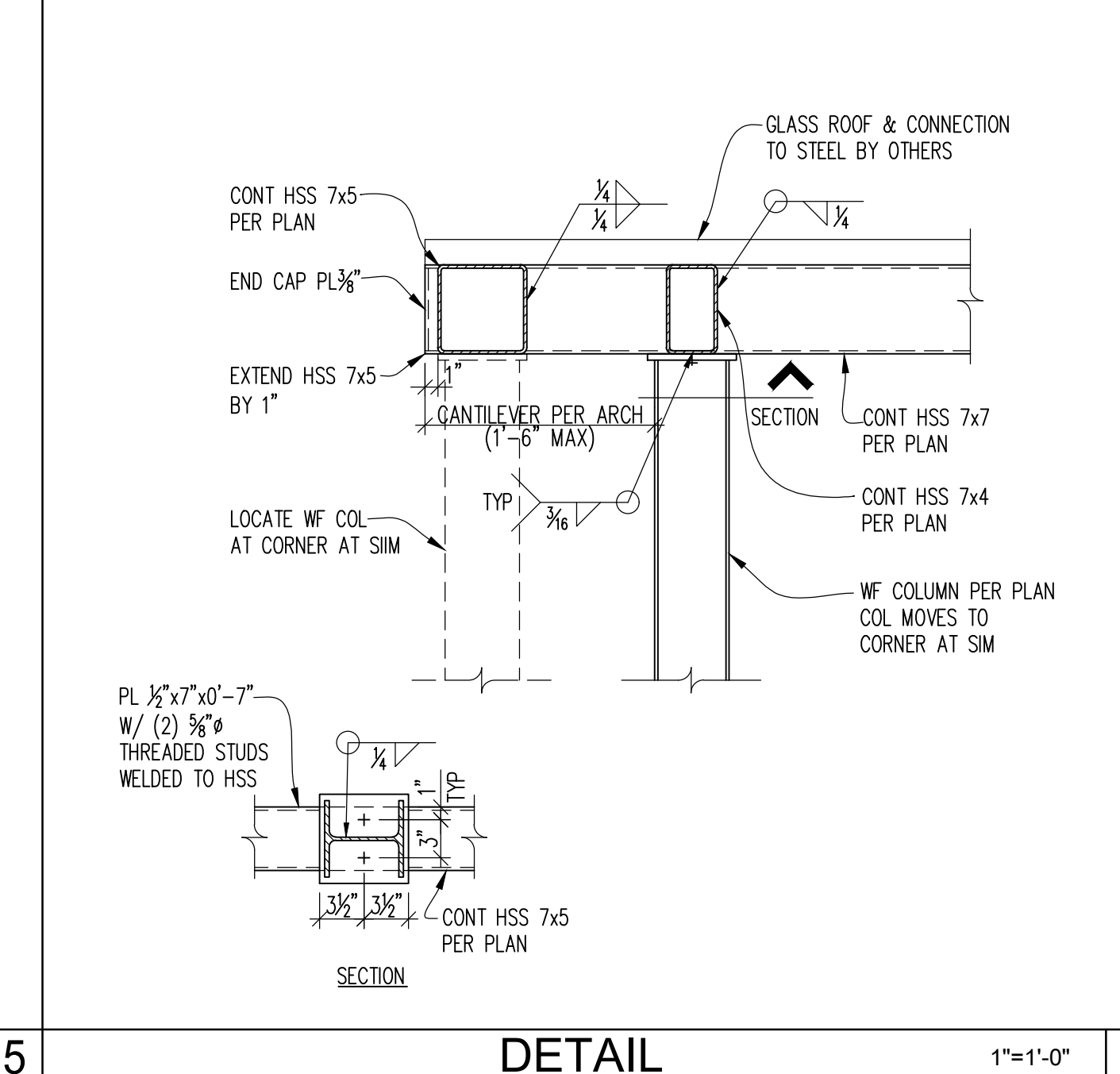
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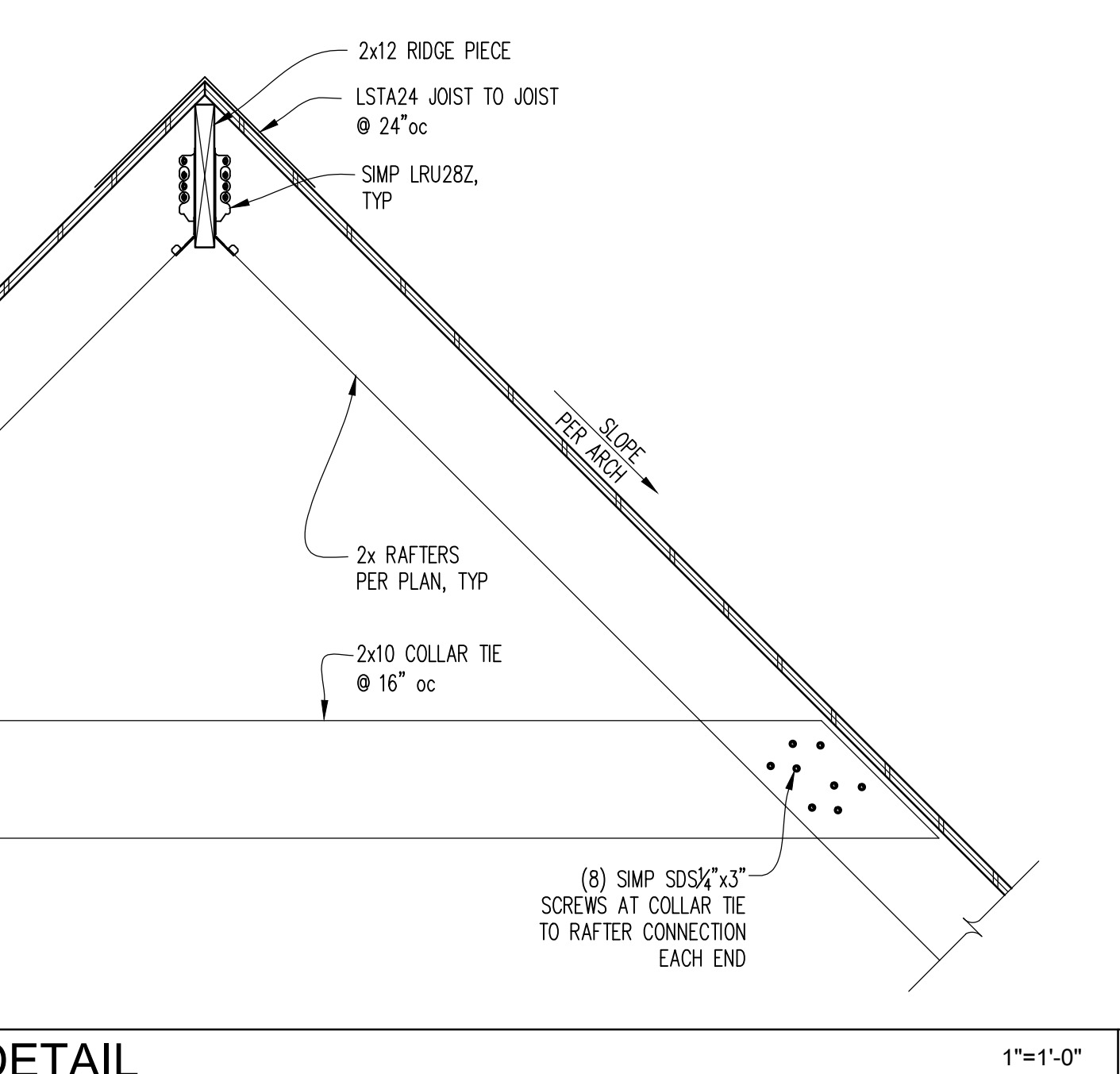
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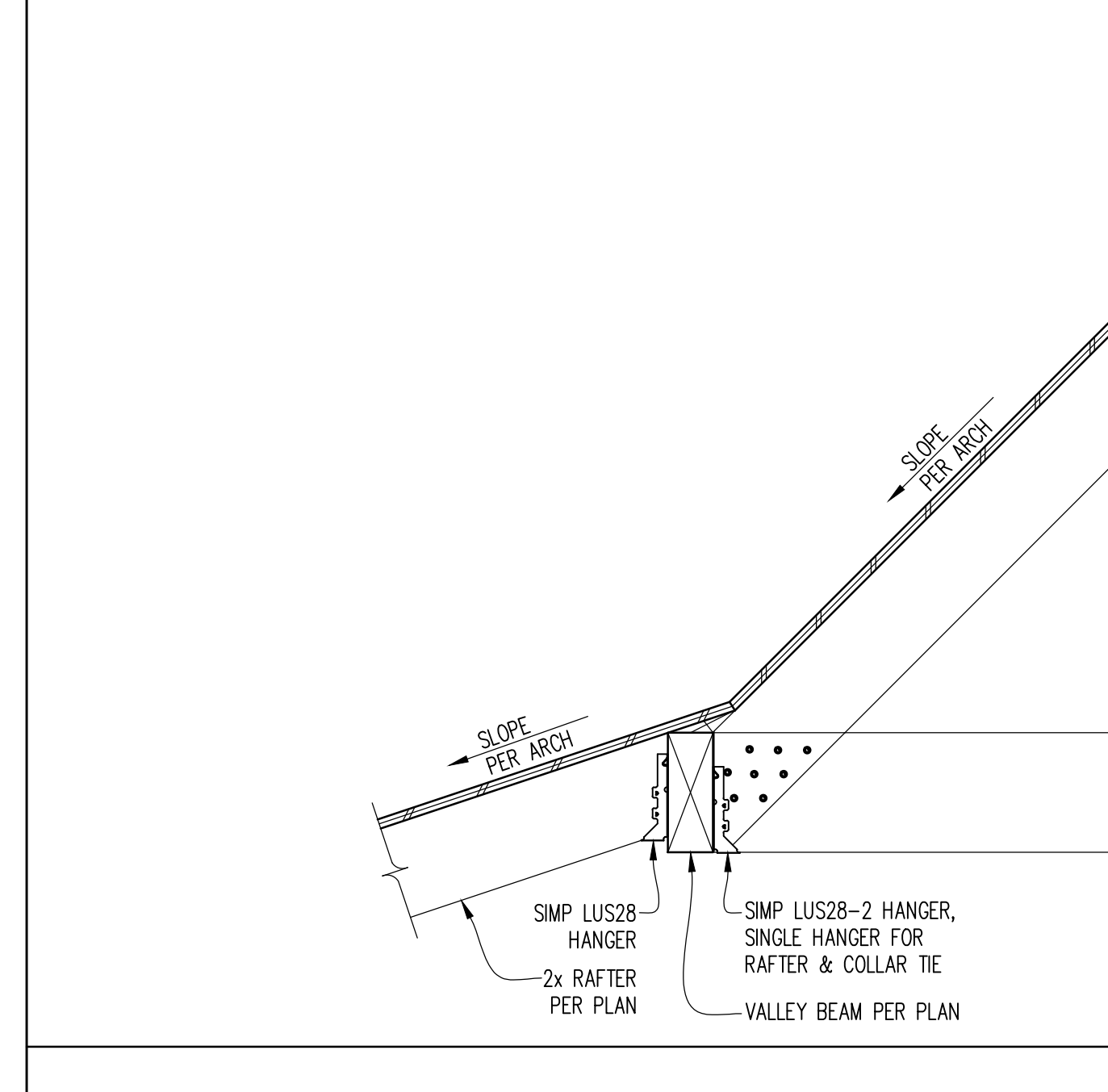
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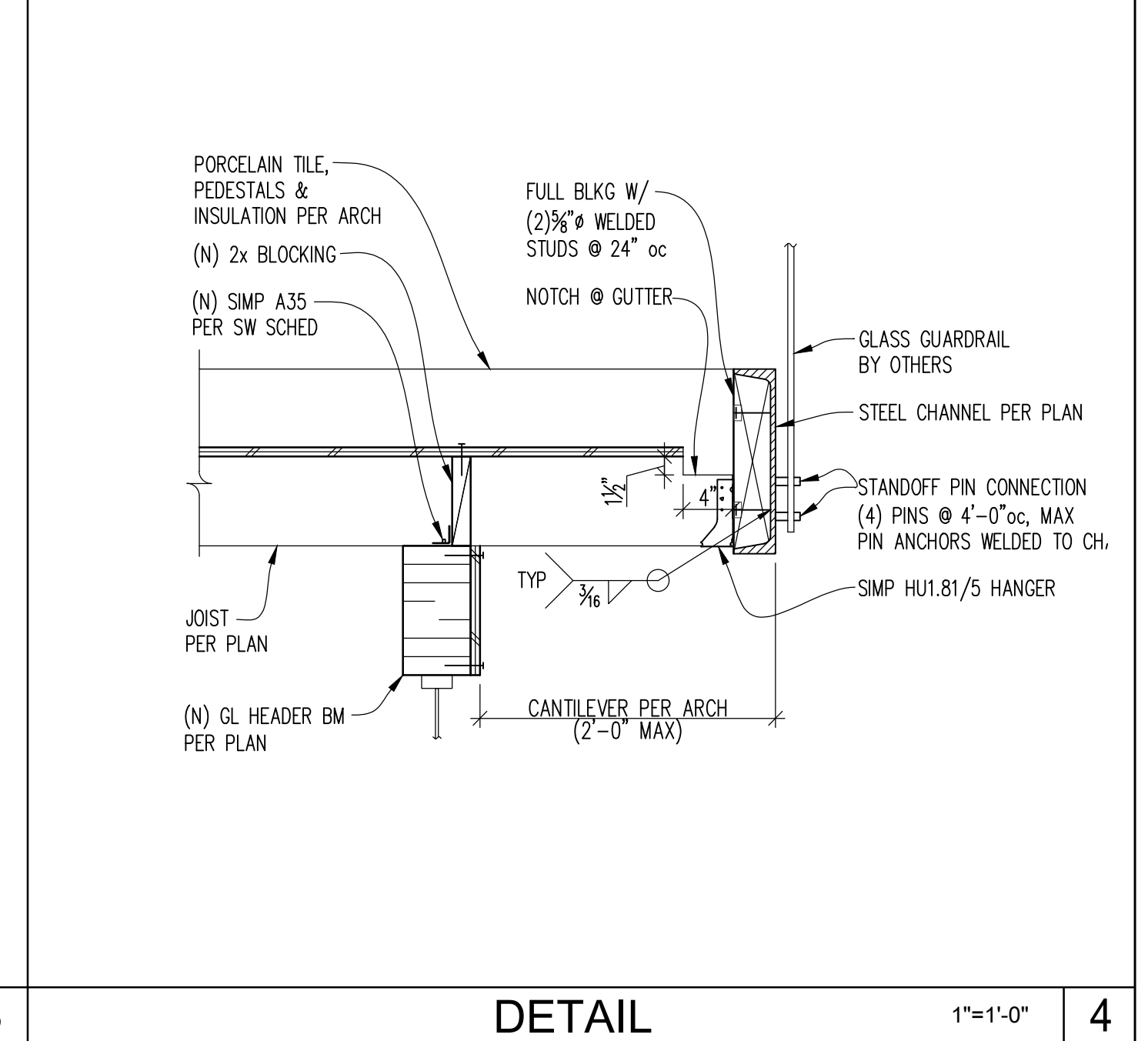
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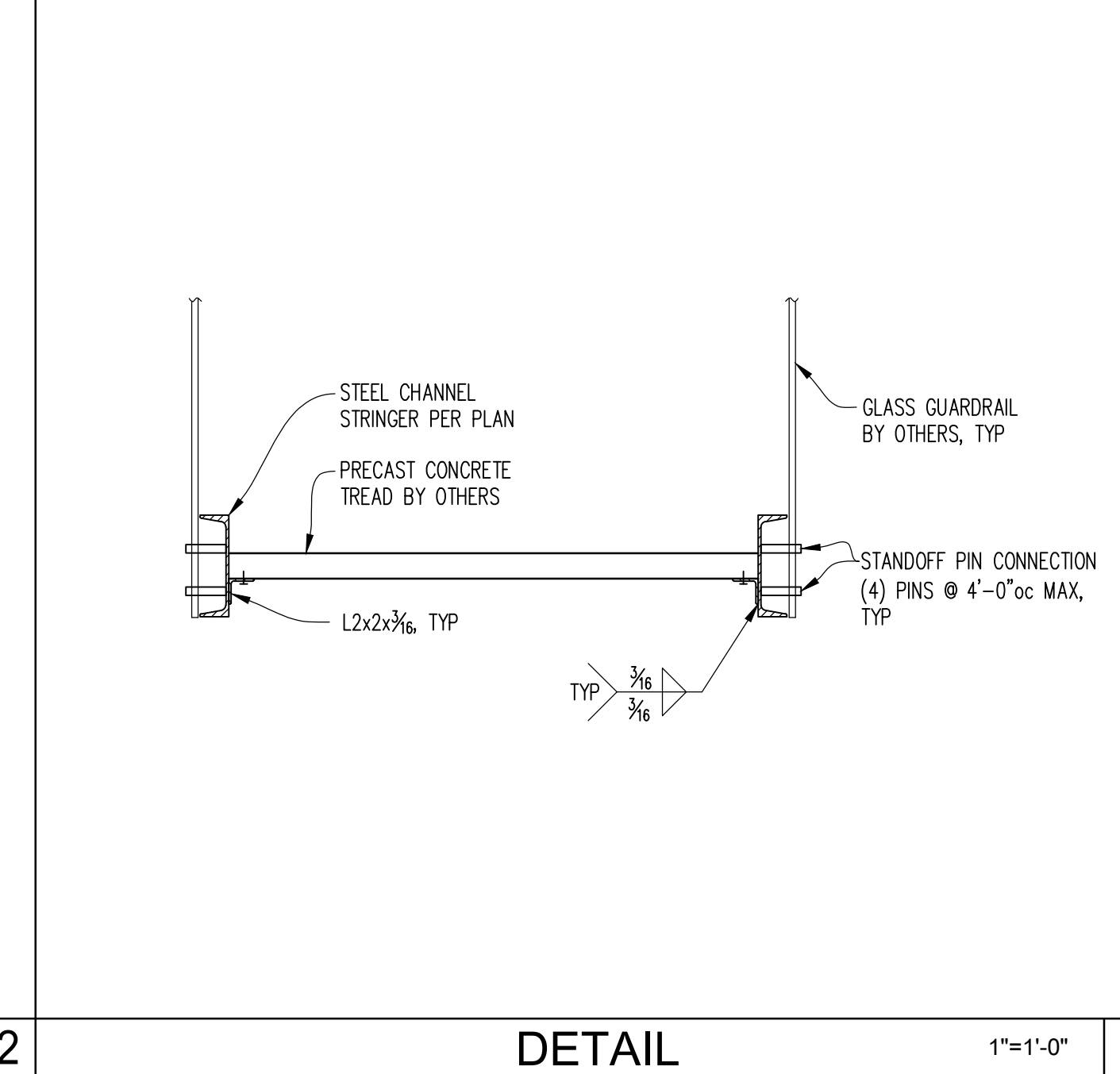
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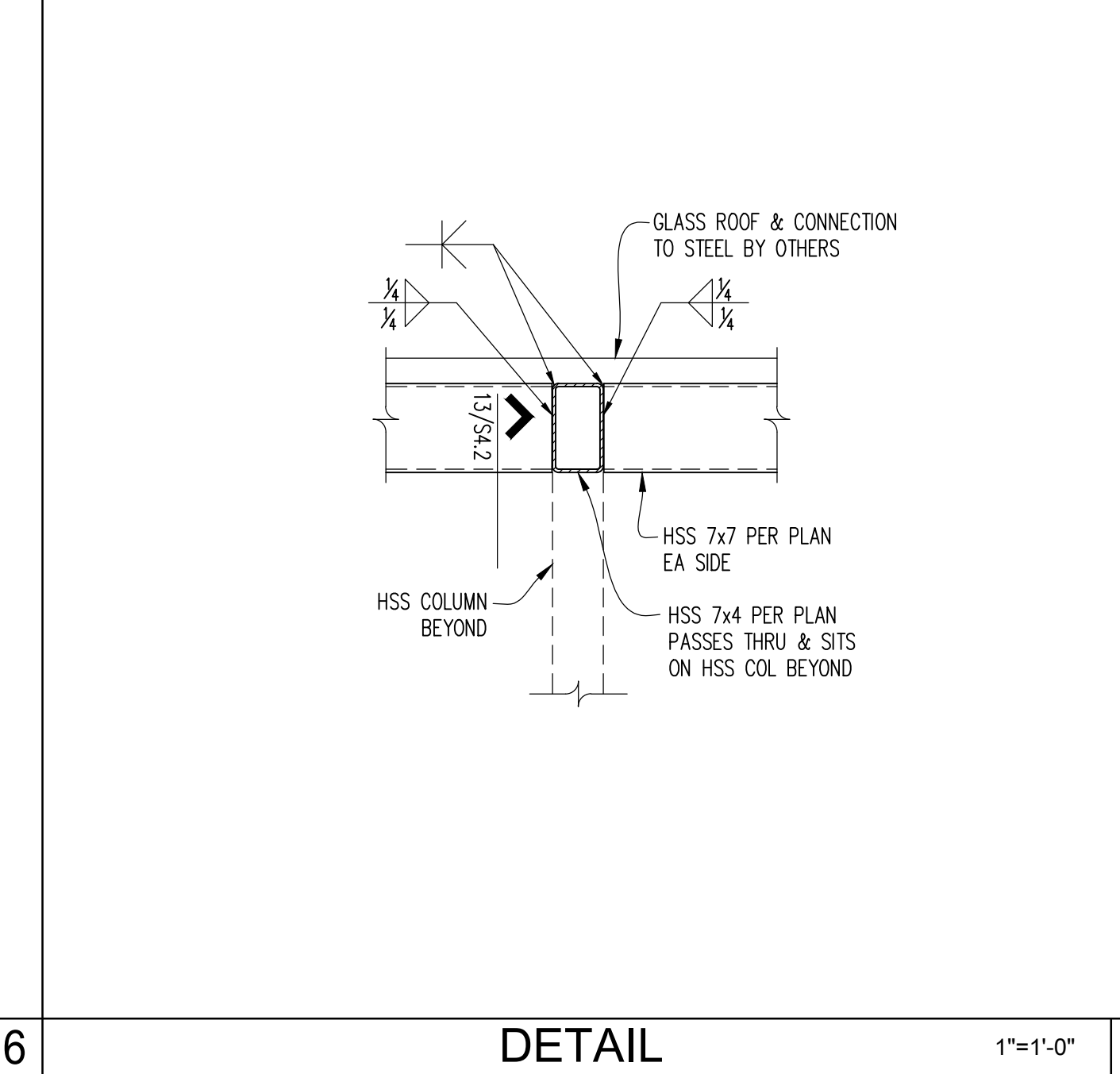
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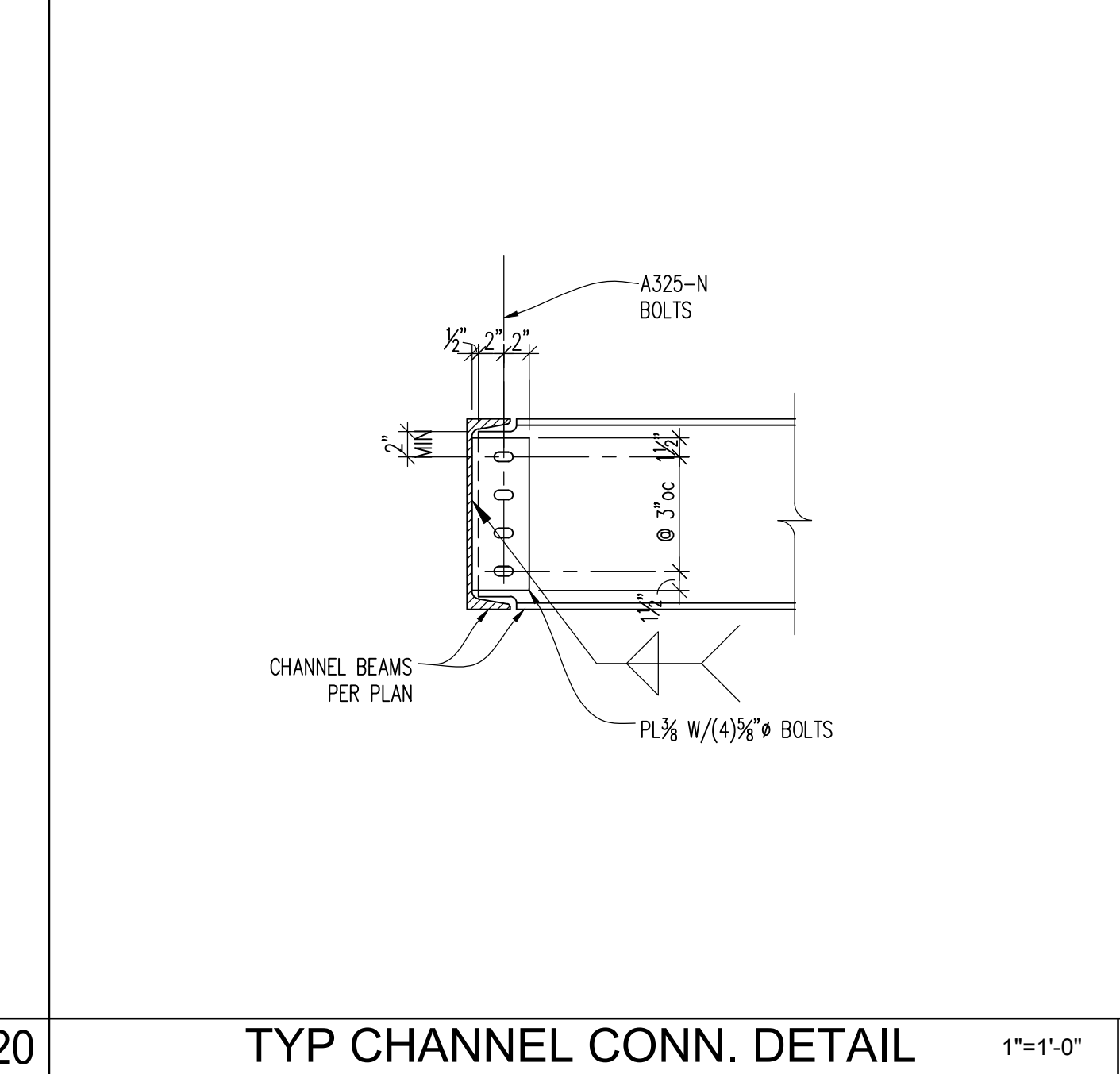
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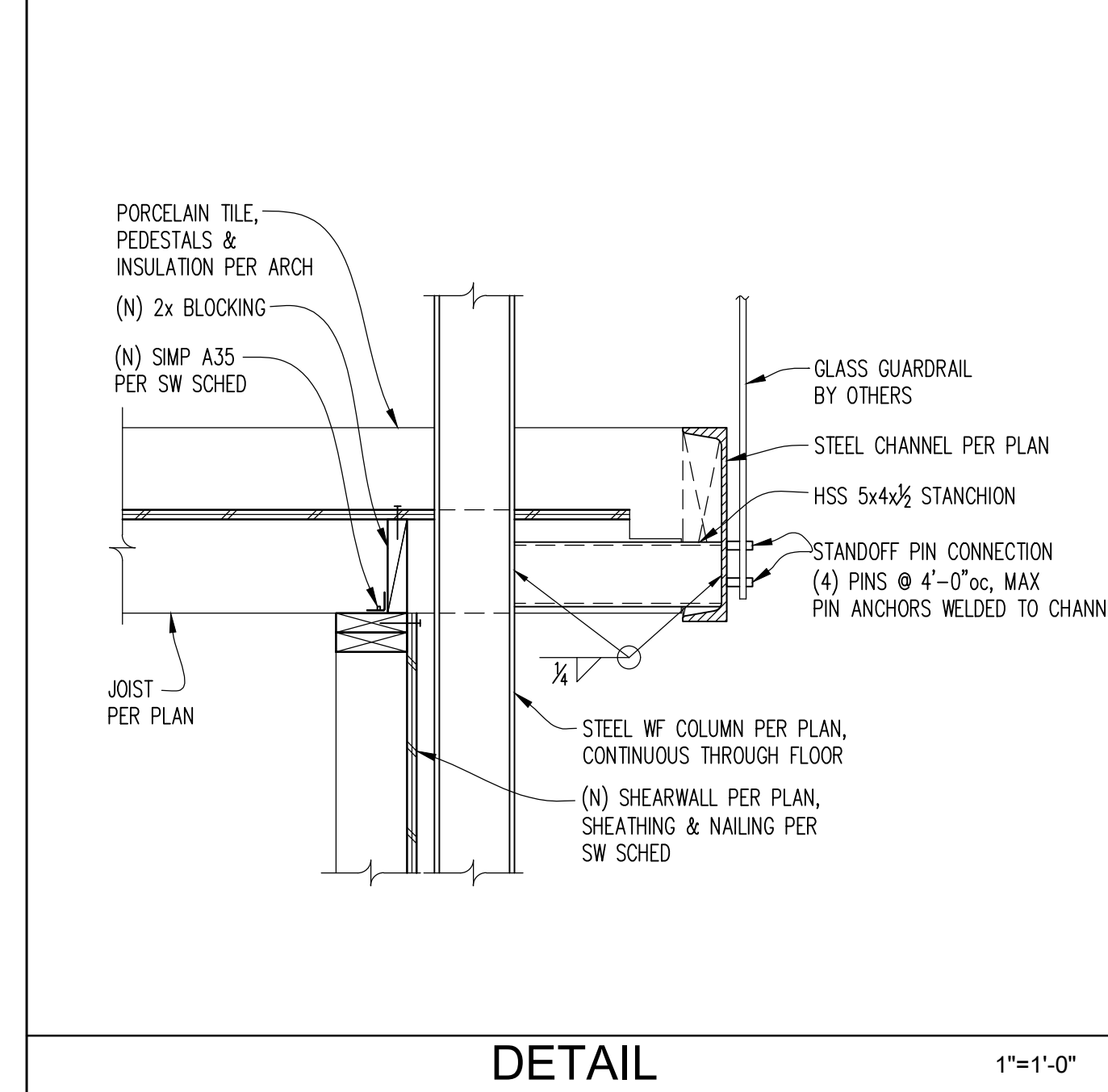
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DETAIL 1"=1'-0" 18

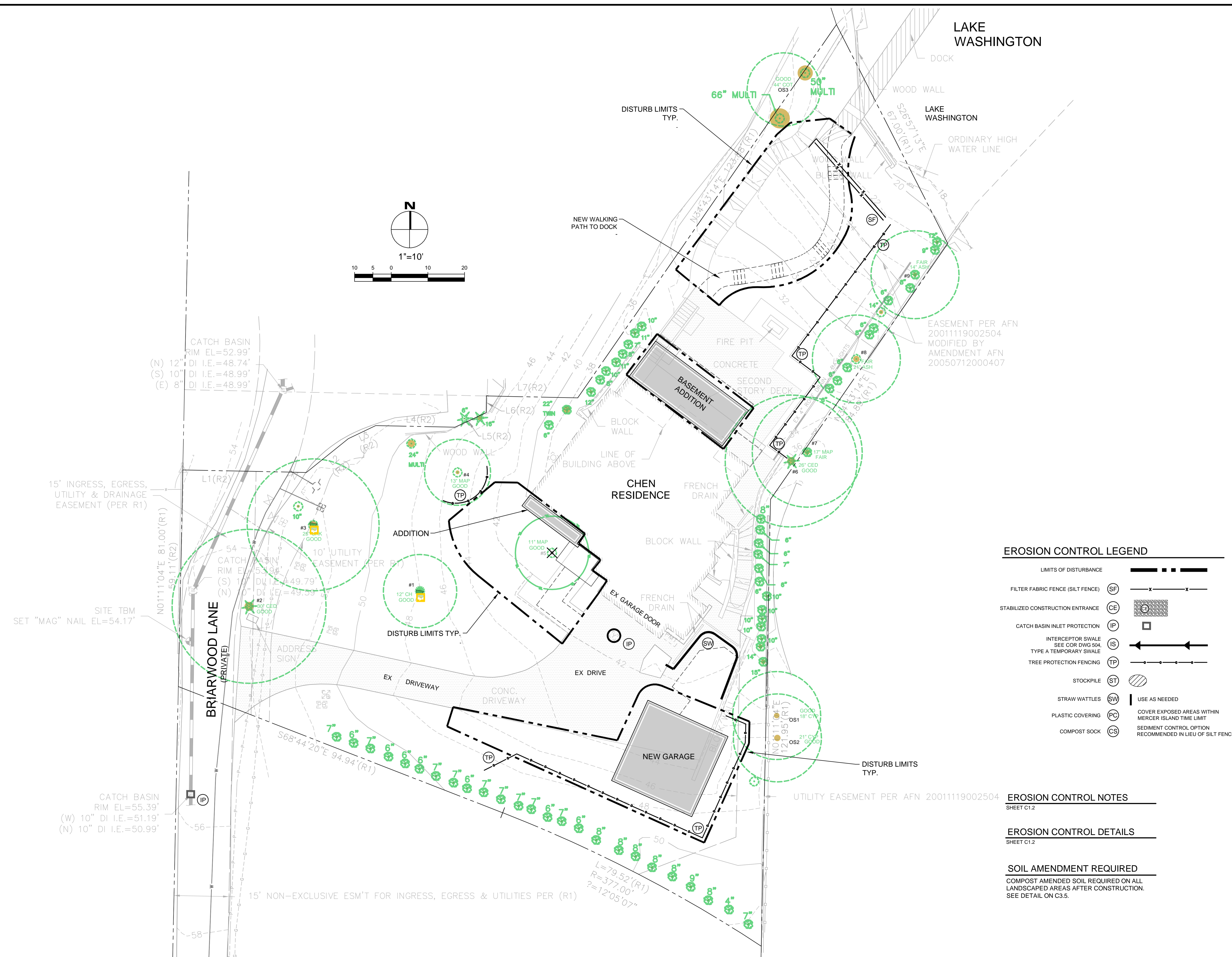
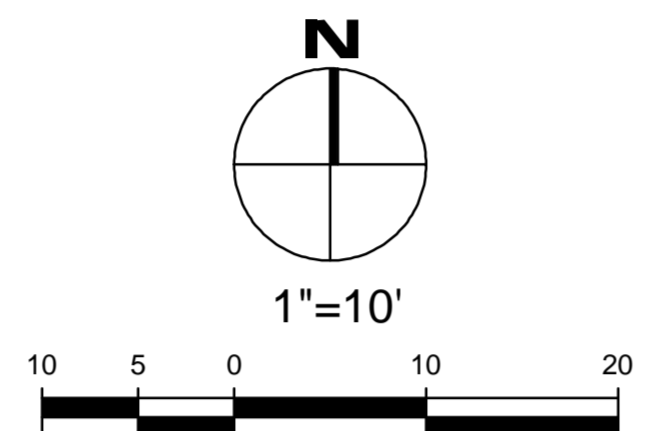


DETAIL 1"=1'-0" 19



DETAIL 1"=1'-0" 20

LAKE WASHINGTON



**EROSION CONTROL LEGEND**

|  |   |
|--|---|
| LIMITS OF DISTURBANCE  | ---   |
| FILTER FABRIC FENCE (SILT FENCE) (SF)                            | —x—x—   |
| STABILIZED CONSTRUCTION ENTRANCE (CE)                            | ▨   |
| CATCH BASIN INLET PROTECTION (IP)                                | □   |
| INTERCEPTOR SWALE (SEE COR DWG 504, TYPE A TEMPORARY SWALE) (IS) | ←   |
| TREE PROTECTION FENCING (TP)                                     | —o—o—o—   |
| STOCKPILE (ST)   | ▨   |
| STRAW WATTLES (SW)   | USE AS NEEDED   |
| PLASTIC COVERING (PC)  | COVER EXPOSED AREAS WITHIN MERCER ISLAND TIME LIMIT       |
| COMPOST SOCK (CS)  | SEDIMENT CONTROL OPTION RECOMMENDED IN LIEU OF SILT FENCE |

**EROSION CONTROL NOTES**  
SHEET C1.2

**EROSION CONTROL DETAILS**  
SHEET C1.2

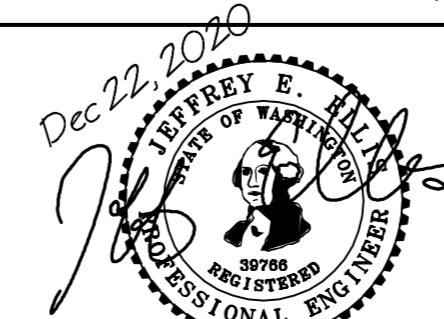
**SOIL AMENDMENT REQUIRED**  
COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL ON C3.5.

| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
|     |      |    |           |

APPLICANT:  
MN CUSTOM HOMES: JOE NAISETH  
1412 112TH AVE. NE, SUITE #104  
BELLEVUE, WA 98004  
PHONE: 206-353-5823



DATE: Dec 22, 2020  
JOB#: 1933  
DRAFTED: CH DESIGN: DE  
DIGITAL SIGNATURE

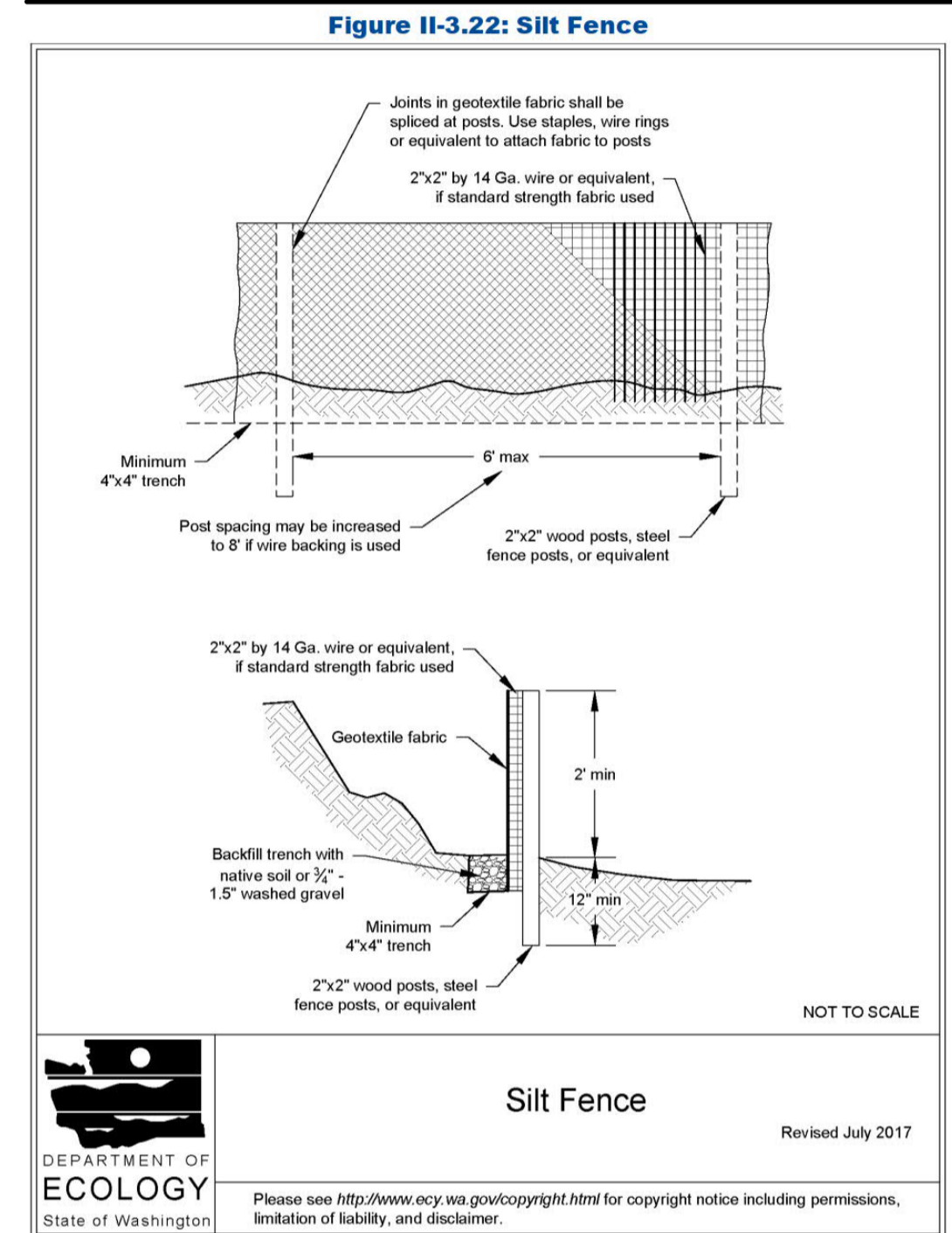


**CIVIL ENGINEERING SOLUTIONS**  
2244 NW MARKET STREET, SUITE B SEATTLE, WA 98107  
PHONE: 206-930-0342 DUFFY@CESOLUTIONS.WA

**EROSION CONTROL PLAN  
TREE RETENTION PLAN**  
CHEN RESIDENCE ADDITION  
9820 SE 35th PLACE, MERCER ISLAND, WA 98040

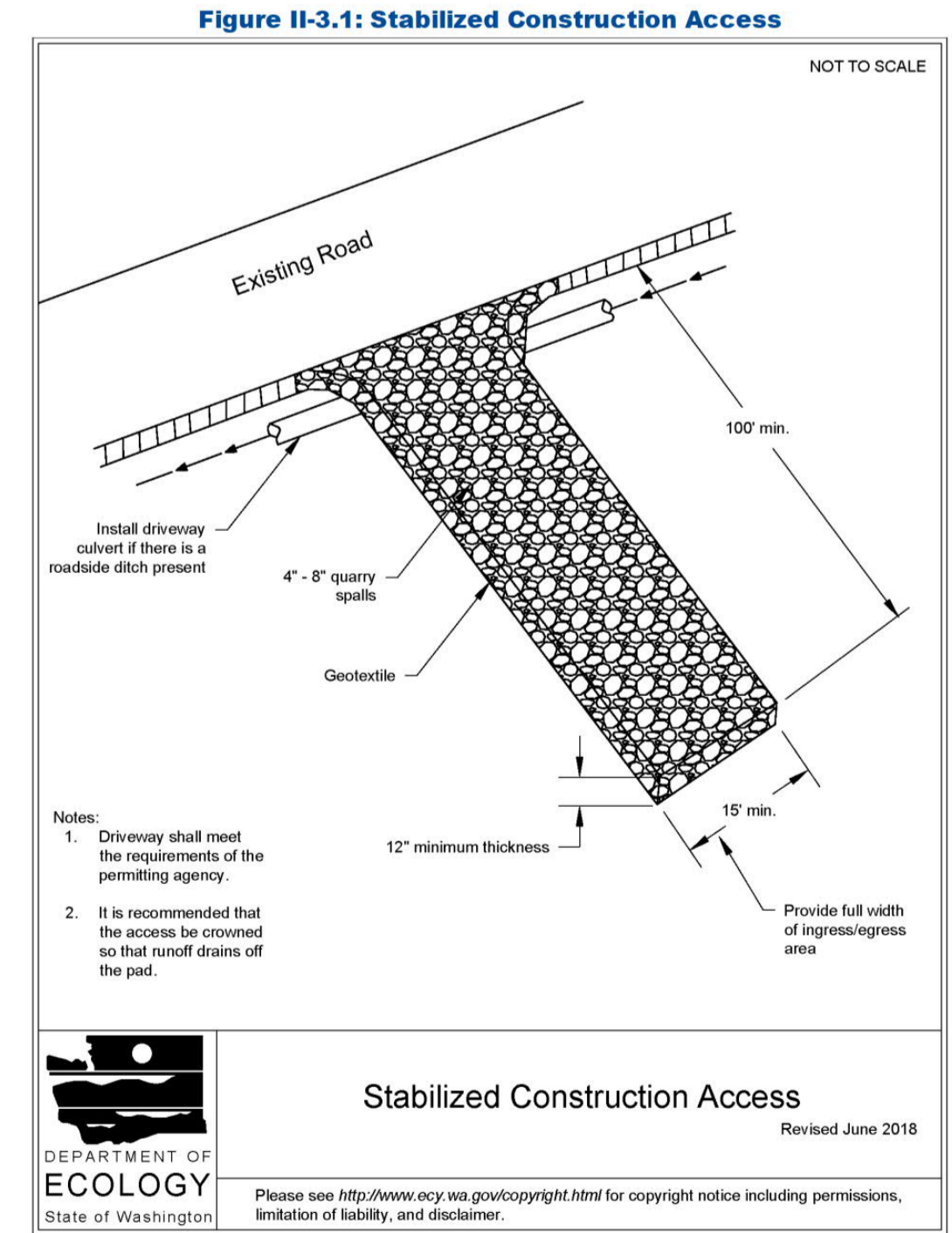
DRAWING NO:  
**C1.0**  
APN 082405-9027

**SILT FENCE DETAIL** **DOE**



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Volume II - Chapter 3 - Page 371

**CONSTRUCTION ENTRANCE** **DOE**



2019 Stormwater Management Manual for Western Washington  
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**RECOMMENDED CONSTRUCTION SEQUENCE**

A DETAILED CONSTRUCTION SEQUENCE IS NEEDED TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE APPLIED AT THE APPROPRIATE TIMES. A RECOMMENDED CONSTRUCTION SEQUENCE IS PROVIDED BELOW:

1. HOLD AN ONSITE PRE-CONSTRUCTION MEETING.
2. POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR (MAY BE CONSOLIDATED WITH THE REQUIRED NOTICE OF CONSTRUCTION SIGN).
3. FLAG OR FENCE CLEARING LIMITS.
4. INSTALL CATCH BASIN PROTECTION, IF REQUIRED.
5. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
6. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
7. CONSTRUCT SEDIMENT PONDS AND TRAPS.
8. GRADE AND STABILIZE CONSTRUCTION ROADS.
9. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
10. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
11. RELOCATE SURFACE WATER CONTROLS OR TESC MEASURES, OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE TESC IS ALWAYS IN ACCORDANCE WITH CITY OF MERCER ISLAND TESC REQUIREMENTS.
12. COVER ALL AREAS THAT WILL BE UN-WORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) OR TWO DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
13. STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
14. SEED, SOO, STABILIZE, OR COVER ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
15. UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE B MPS IF APPROPRIATE.

**EROSION CONTROL NOTES**

D.8.2 STANDARD ESC PLAN NOTES  
THE STANDARD ESC PLAN NOTES MUST BE INCLUDED ON ALL ESC PLANS. AT THE APPLICANT'S DISCRETION, NOTES THAT IN NO WAY APPLY TO THE PROJECT MAY BE OMITTED; HOWEVER, THE REMAINING NOTES MUST NOT BE RENUMBERED. FOR EXAMPLE, IF ESC NOTE #3 WERE OMITTED, THE REMAINING NOTES SHOULD BE NUMBERED 1, 2, 4, 5, 6, ETC.

1. APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING. IF REQUIRED, PRIOR TO CONSTRUCTION (BWSM APPENDIX D). DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
4. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.
5. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
6. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL COVER MEASURES, ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, PERIMETER PROTECTION ETC.) AS DIRECTED BY CITY OF MERCER ISLAND.
7. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES.
8. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
9. ANY AREA NEEDING ESC MEASURES THAT DO NOT REQUIRE IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
10. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH DURING THE DRY SEASON, BI-MONTHLY DURING THE WET SEASON, OR WITHIN TWENTY FOUR (24) HOURS FOLLOWING A STORM EVENT.
11. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
12. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
13. COVER MEASURES WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE SURFACE WATER DESIGN MANUAL.
14. PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON.

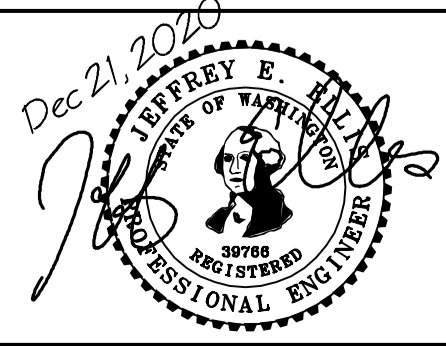
**CITY NOTES**

1. ANY CHANGES TO THE APPROVED PLANS REQUIRES CITY APPROVAL THROUGH A REVISION.
2. APPLICANT IS RESPONSIBLE FOR ANY DAMAGES TO UNDERGROUND UTILITIES CAUSED FROM THIS CONSTRUCTION.
3. CATCH BASIN FILTERS SHOULD BE PROVIDED FOR ALL STORM DRAIN CATCH BASINS/INLETS DOWNSLOPE AND WITHIN 500 FEET OF THE CONSTRUCTION AREA. CATCH BASIN FILTERS SHOULD BE DESIGNED BY THE MANUFACTURER FOR USE AT CONSTRUCTION SITES AND APPROVED BY THE CITY INSPECTOR. CATCH BASIN FILTERS SHOULD BE INSPECTED FREQUENTLY, ESPECIALLY AFTER STORM EVENTS. IF THE FILTER BECOMES CLOGGED, IT SHOULD BE CLEANED OR REPLACED.
4. CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITIES.
5. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL 'ONE CALL' AT 1.800.424.5555
6. DO NOT BACKFILL WITH NATIVE MATERIAL ON PUBLIC RIGHT-OF-WAY. ALL MATERIAL MUST BE IMPORTED
7. EROSION CONTROL: ALL "LAND DISTURBING ACTIVITY" IS SUBJECT TO PROVISIONS OF MERCER ISLAND ORDINANCE 96C-118 "STORM WATER MANAGEMENT." SPECIFIC ITEMS TO BE FOLLOWED AT YOUR SITE:
8. PROTECT ADJACENT PROPERTIES FROM ANY INCREASED RUNOFF OR SEDIMENTATION DUE TO THE CONSTRUCTION PROJECT THROUGH THE USE OF APPROPRIATE "BEST MANAGEMENT PRACTICES" (BMP) EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT TRAPS, SEDIMENT PONDS, FILTER FABRIC FENCES, VEGETATIVE BUFFER STRIPS OR BIOENGINEERED SWALES.
9. CONSTRUCTION ACCESS TO THE SITE SHOULD BE LIMITED TO ONE ROUTE. STABILIZE ENTRANCE WITH QUARRY SPALLS TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING THE STORM DRAINS.
10. PREVENT SEDIMENT, CONSTRUCTION DEBRIS, PAINTS, SOLVENTS, ETC., OR OTHER TYPES OF POLLUTION FROM ENTERING PUBLIC STORM DRAINS. KEEP ALL POLLUTION ON YOUR SITE.
11. ALL EXPOSED SOILS SHALL REMAIN DENUDED FOR NO LONGER THAN SEVEN (7) DAYS AND SHALL BE STABILIZED WITH MULCH, HAY, OR THE APPROPRIATE GROUND COVER. ALL EXPOSED SOILS SHALL BE COVERED IMMEDIATELY DURING ANY RAIN EVENT.
12. INSTALLATION OF CONCRETE DRIVEWAYS, TREES, SHRUBS, IRRIGATION BOULDERS, BERMS, WALLS, GATES, AND OTHER IMPROVEMENTS ARE NOT ALLOWED IN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL, AND AN ENCROACHMENT AGREEMENT AND RIGHT OF WAY PERMIT FROM THE SENIOR DEVELOPMENT ENGINEER.
13. OWNER SHALL CONTROL DISCHARGE OF SURFACE DRAINAGE RUNOFF FROM EXISTING AND NEW IMPERVIOUS AREAS IN A RESPONSIBLE MANNER. CONSTRUCTION OF NEW GUTTERS AND DOWNSPOUTS, DRY WELLS, LEVEL SPREADERS OR DOWNSTREAM CONVEYANCE PIPE MAY BE NECESSARY TO MINIMIZE DRAINAGE IMPACT TO YOUR NEIGHBORS. CONSTRUCTION OF MINIMUM DRAINAGE IMPROVEMENTS SHOWN OR CALLED OUT ON THIS PLAN DOES NOT IMPLY RELIEF FROM CIVIL LIABILITY FOR YOUR DOWNSTREAM DRAINAGE.
14. POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
15. REMEMBER: EROSION CONTROL IS YOUR FIRST INSPECTION.
16. ROOF DRAINS MUST BE CONNECTED TO THE STORM DRAIN SYSTEM AND INSPECTED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY BACKFILLING OF PIPE.
17. SILENT FENCE: CLEAN AND PROVIDE REGULAR MAINTENANCE OF THE SILT FENCE. THE FENCE IS TO REMAIN VERTICAL AND IS TO FUNCTION PROPERLY THROUGHOUT THE TERM OF THE PROJECT.
18. WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.
19. REFER TO WATER SERVICE PERMIT FOR ACTUAL LOCATION OF NEW WATER METER AND SERVICE LINE DETERMINED BY MERCER ISLAND WATER DEPARTMENT.
20. THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN IS REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED. ALTERNATELY, A PRESSURE TEST OF THE SIDE SEWER, FROM SEWER MAIN TO POINT OF CONNECTION, MAY BE SUBSTITUTED FOR THE VIDEO INSPECTION.
21. NEWLY INSTALLED SIDE SEWER REQUIRES A 4 P.S.I. AIR TEST OR PROVIDE 10' OF HYDROSTATIC HEAD TEST.
22. POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
23. THE LIMITS AND EXTENDS OF THE PAVEMENT IN THE PUBLIC RIGHT OF WAY SHALL BE DETERMINED BY THE CITY ENGINEER PRIOR TO FINALIZE THE PROJECT.

| NO. | DATE | BY | REVISIONS |
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APPLICANT  
MIN CUSTOM HOMES, JOE NAISETH  
1412 112TH AVE. NE, SUITE #104  
BELLEVUE, WA 98004  
PHONE: 206-353-5823

DATE: Dec 21, 2020  
JOB#: 1933  
DRAFTED: SS DESIGN: DE  
DIGITAL SIGNATURE



**CIVIL ENGINEERING SOLUTIONS**  
2244 NW MARKET STREET, SUITE B SEATTLE, WA 98107  
PHONE: 206.930.0342  
DUFFY@CESOLUTIONS.WA

**TESC & CITY NOTES**  
**TESC DETAILS**  
CHEN RESIDENCE ADDITION  
9820 SE 35th PLACE, MERCER ISLAND, WA 98040

DRAWING NO:  
**C1.2**  
APN 082405-9027

**SANITARY SEWER IMPROVEMENTS**

- ①
- ②
- ③
- ④
- ⑦

**WATER IMPROVEMENTS**

- ⑩
- ⑪
- ⑫
- ⑭

**STORM DRAIN**

- ⑰ 4" STORM DRAIN (3034 PVC) @ MIN 2 % GRADE
- ⑲ 4" FOUNDATION DRAIN (3034 PVC) @ MIN 1 % GRADE
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**STORM DRAIN STRUCTURES**

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**STORM BMP's**

- ⑥① DETAIL NDP-1: COMPOST AMENDED SOIL TO ALL DISTURBED AREAS (SEE DETAIL SHEET C3.5). TILL 2-3" OF COMPOST INTO UPPER 8" OF SOIL. LOOSEN COMPACTED SUBSOIL, IF NEEDED BY RIPPING TO 12" DEPTH. MULCH LANDSCAPE BEDS AFTER PLANTING.
- ⑥②
- ⑥③
- ⑥④
- ⑥⑤
- ⑥⑥
- ⑥⑦
- ⑥⑧

**PRIVATE PVC STORM STRUCTURES**

- ⑩①
- ⑩②
- ⑩③
- ⑩④
- ⑩⑤
- ⑩⑥

**SURVEYOR**

TOPOGRAPHIC & BOUNDARY SURVEY BY:  
 informed land survey  
 PO BOX 5137  
 TACOMA, WA 98415-0137  
 PHONE 253-627-2070  
 admin@i-landsurvey.com  
 www.i-landsurvey.com

**VERTICAL DATUM**

NAVD 1988 PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN)  
 SEE SURVEY

**SOIL AMENDMENT REQUIRED**

COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL ON C3.5.

**SOIL INSPECTION REQUIRED BY ENGINEER**

A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

**LEGAL DESCRIPTION**

**PARCEL A:**  
 LOT 1, CITY OF MERCER ISLAND SHORT PLAT NO. 82-11-26, ACCORDING TO SHORT PLAT RECORDED MARCH 10, 1983 UNDER RECORDING NO. 8303100004, RECORDS OF KING COUNTY, WASHINGTON.

EXCEPT THE PORTION LYING NORTHERLY AND WESTERLY OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 1:

THENCE SOUTH 88°49'28" EAST ALONG THE NORTH LINE THEREOF, A DISTANCE OF 82.40 FEET TO THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED LINE; THENCE SOUTH 01°10'32" WEST A DISTANCE OF 4.54 FEET;

THENCE SOUTH 64°49'53" WEST A DISTANCE OF 9.36 FEET;

THENCE NORTH 88°49'28" WEST A DISTANCE OF 21.64 FEET;

THENCE SOUTH 64°21'02" WEST A DISTANCE OF 8.31 FEET;

THENCE SOUTH 51°11'48" WEST A DISTANCE OF 14.70 FEET;

THENCE NORTH 88°49'28" WEST A DISTANCE OF 33.69 FEET, MORE OR LESS TO THE WEST LINE OF SAID LOT 1, AND THE TERMINUS OF THE HEREIN DESCRIBED LINE;

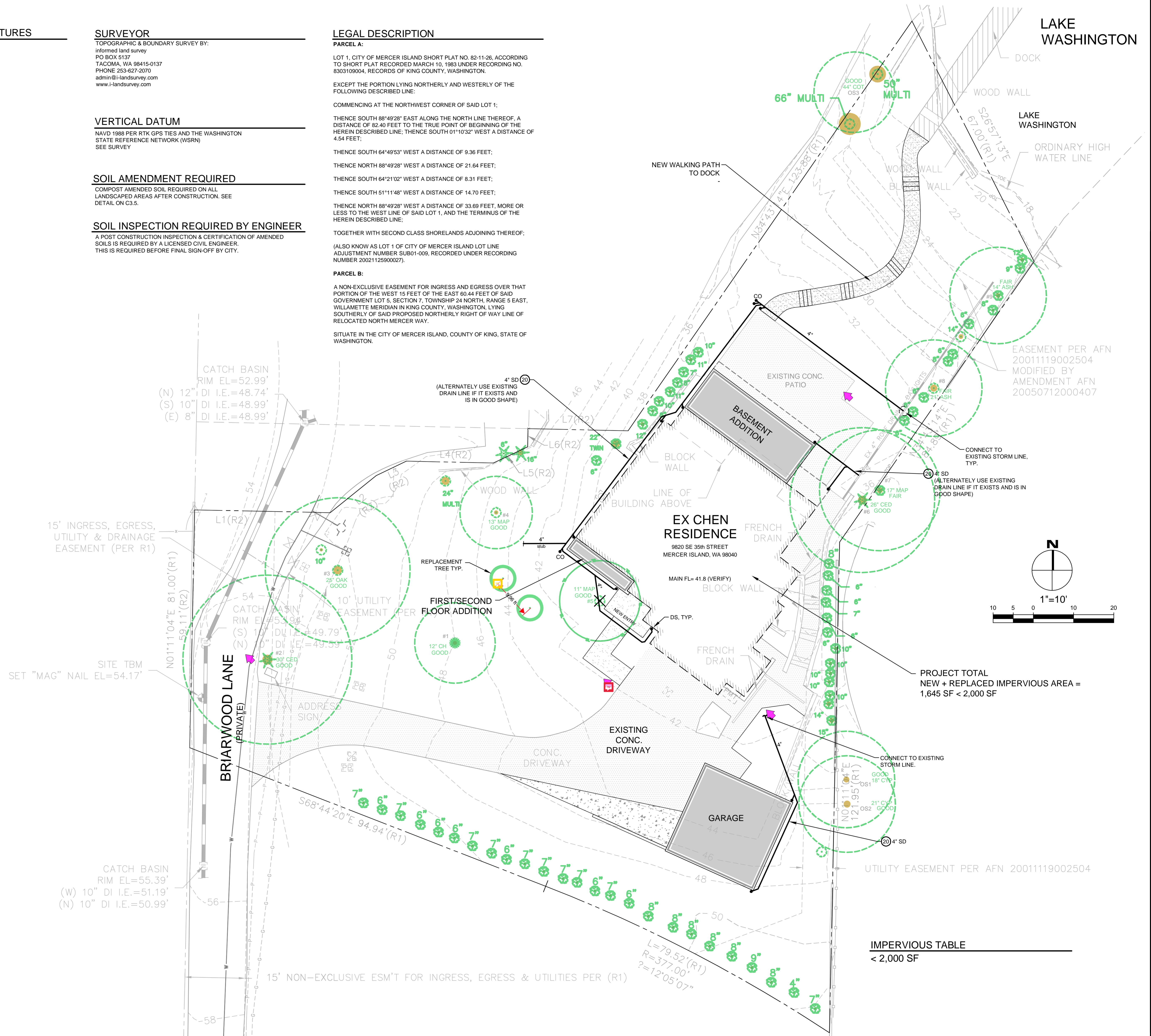
TOGETHER WITH SECOND CLASS SHORELANDS ADJOINING THEREOF;

(ALSO KNOWN AS LOT 1 OF CITY OF MERCER ISLAND LOT LINE ADJUSTMENT NUMBER SUB01-009, RECORDED UNDER RECORDING NUMBER 20021125900027).

**PARCEL B:**

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF THE WEST 15 FEET OF THE EAST 80.44 FEET OF SAID GOVERNMENT LOT 5, SECTION 7, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN IN KING COUNTY, WASHINGTON, LYING SOUTHERLY OF SAID PROPOSED NORTHERLY RIGHT OF WAY LINE OF RELOCATED NORTH MERCER WAY.

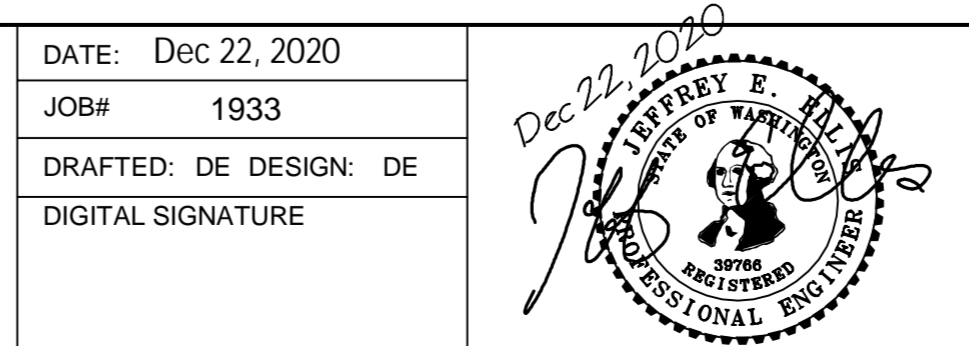
SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.



| NO. | DATE | BY | REVISIONS |
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APPLICANT  
 MN CUSTOM HOMES: JOE NAISETH  
 1412 112TH AVE. NE, SUITE #104  
 BELLEVUE, WA 98004  
 PHONE: 206-353-5823

DATE: Dec 22, 2020  
 JOB#: 1933  
 DRAFTED: DE DESIGN: DE  
 DIGITAL SIGNATURE



**CIVIL ENGINEERING SOLUTIONS**  
 2244 NW MARKET STREET, SUITE B SEATTLE, WA 98107  
 PHONE: 206-930-0342 DUFFY@CESOLUTIONS.WS

**DRAINAGE / CIVIL PLAN**  
 CHEN RESIDENCE ADDITION  
 9820 SE 35th PLACE, MERCER ISLAND, WA 98040

DRAWING NO:  
**C2.0**  
 APN 082405-9027

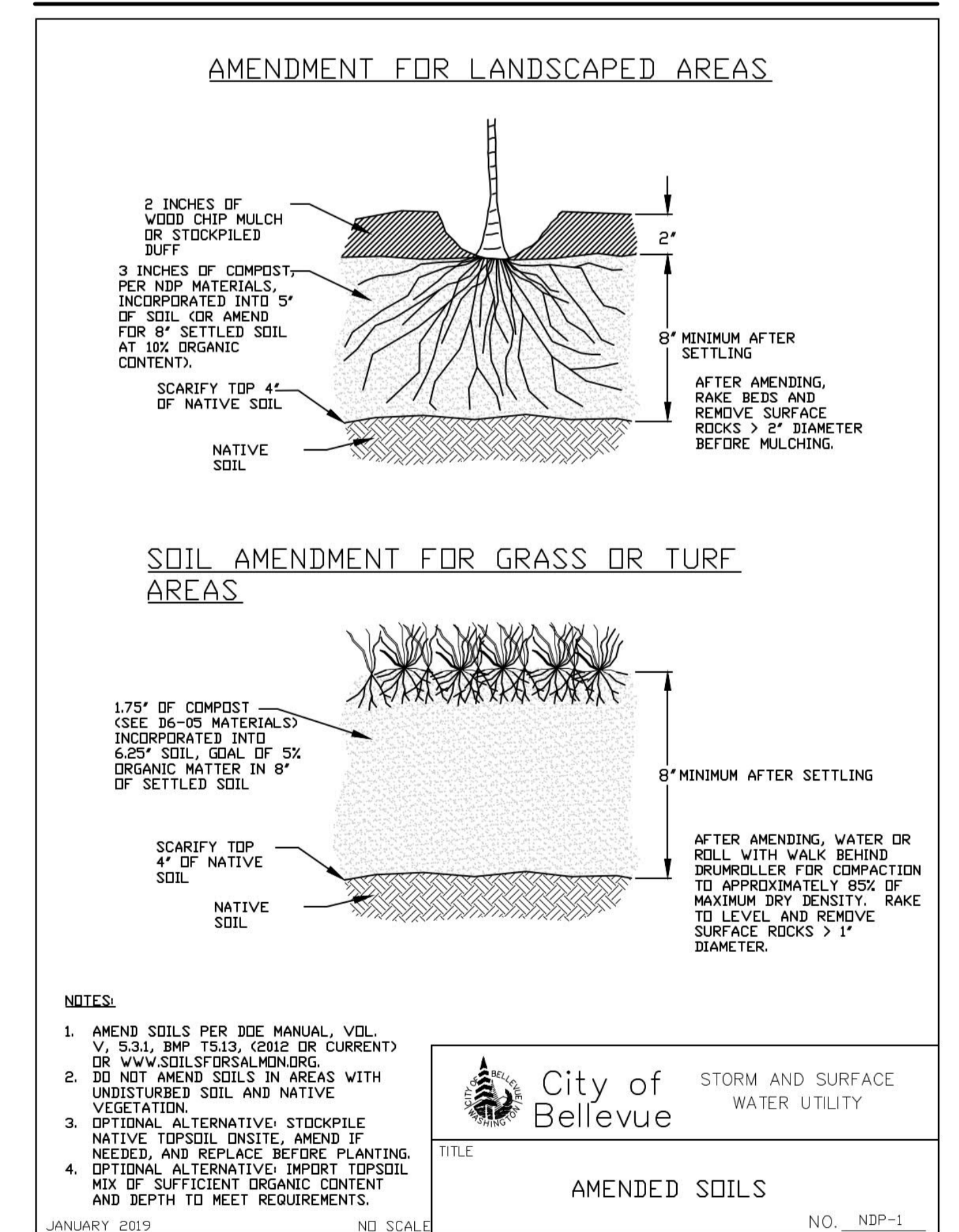
**SOIL AMENDMENT REQUIRED**

COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL BELOW.

**SOIL INSPECTION REQUIRED BY ENGINEER**

A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

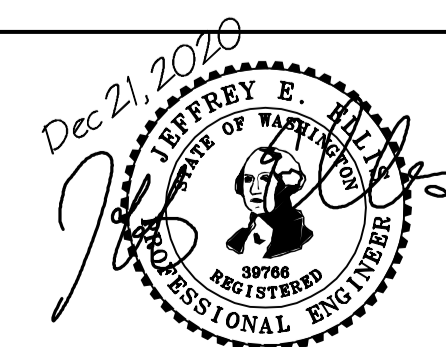
**COMPOST AMENDED SOIL SPEC**



| NO. | DATE | BY | REVISIONS |
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|     |      |    |           |

APPLICANT  
 MN CUSTOM HOMES: JOE NAISETH  
 1412 112TH AVE. NE, SUITE #104  
 BELLEVUE, WA 98004  
 PHONE: 206-353-5823

DATE: Dec 21, 2020  
 JOB# 1933  
 DRAFTED: SS DESIGN: SS  
 DIGITAL SIGNATURE



**CIVIL ENGINEERING SOLUTIONS**  
 2244 NW MARKET STREET, SUITE B SEATTLE, WA 98107  
 PHONE: 206.930.0342 DUFFY@CESOLUTIONS.US

**BMP DETAILS**  
 CHEN RESIDENCE ADDITION  
 9820 SE 35th PLACE, MERCER ISLAND, WA 98040

DRAWING NO:  
**C3.5**  
 APN 082405-9027



# TOPOGRAPHIC SURVEY

## LEGAL DESCRIPTION

### PARCEL A:

LOT 1, CITY OF MERCER ISLAND SHORT PLAT NO. 82-11-26, ACCORDING TO SHORT PLAT RECORDED MARCH 10, 1983 UNDER RECORDING NO. 8303109004, RECORDS OF KING COUNTY, WASHINGTON.

EXCEPT THE PORTION LYING NORTHERLY AND WESTERLY OF THE FOLLOWING DESCRIBED LINE: COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 1;

THENCE SOUTH 88°49'28" EAST ALONG THE NORTH LINE THEREOF, A DISTANCE OF 82.40 FEET TO THE TRUE POINT OF BEGINNING OF THE HEREIN DESCRIBED LINE; THENCE SOUTH 01°10'32" WEST A DISTANCE OF 4.54 FEET;

THENCE SOUTH 64°49'53" WEST A DISTANCE OF 9.36 FEET;

THENCE NORTH 88°49'28" WEST A DISTANCE OF 21.64 FEET;

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THENCE SOUTH 51°11'48" WEST A DISTANCE OF 14.70 FEET;

THENCE NORTH 88°49'28" WEST A DISTANCE OF 33.69 FEET, MORE OR LESS TO THE WEST LINE OF SAID LOT 1, AND THE TERMINUS OF THE HEREIN DESCRIBED LINE;

TOGETHER WITH SECOND CLASS SHORELANDS ADJOINING THEREOF;

(ALSO KNOWN AS LOT 1 OF CITY OF MERCER ISLAND LOT LINE ADJUSTMENT NUMBER SUB01-009, RECORDED UNDER RECORDING NUMBER 20021125900027).

### PARCEL B:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF THE WEST 15 FEET OF THE EAST 60.44 FEET OF SAID GOVERNMENT LOT 5, SECTION 7, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN IN KING COUNTY, WASHINGTON, LYING SOUTHERLY OF SAID PROPOSED NORTHERLY RIGHT OF WAY LINE OF RELOCATED NORTH MERCER WAY.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

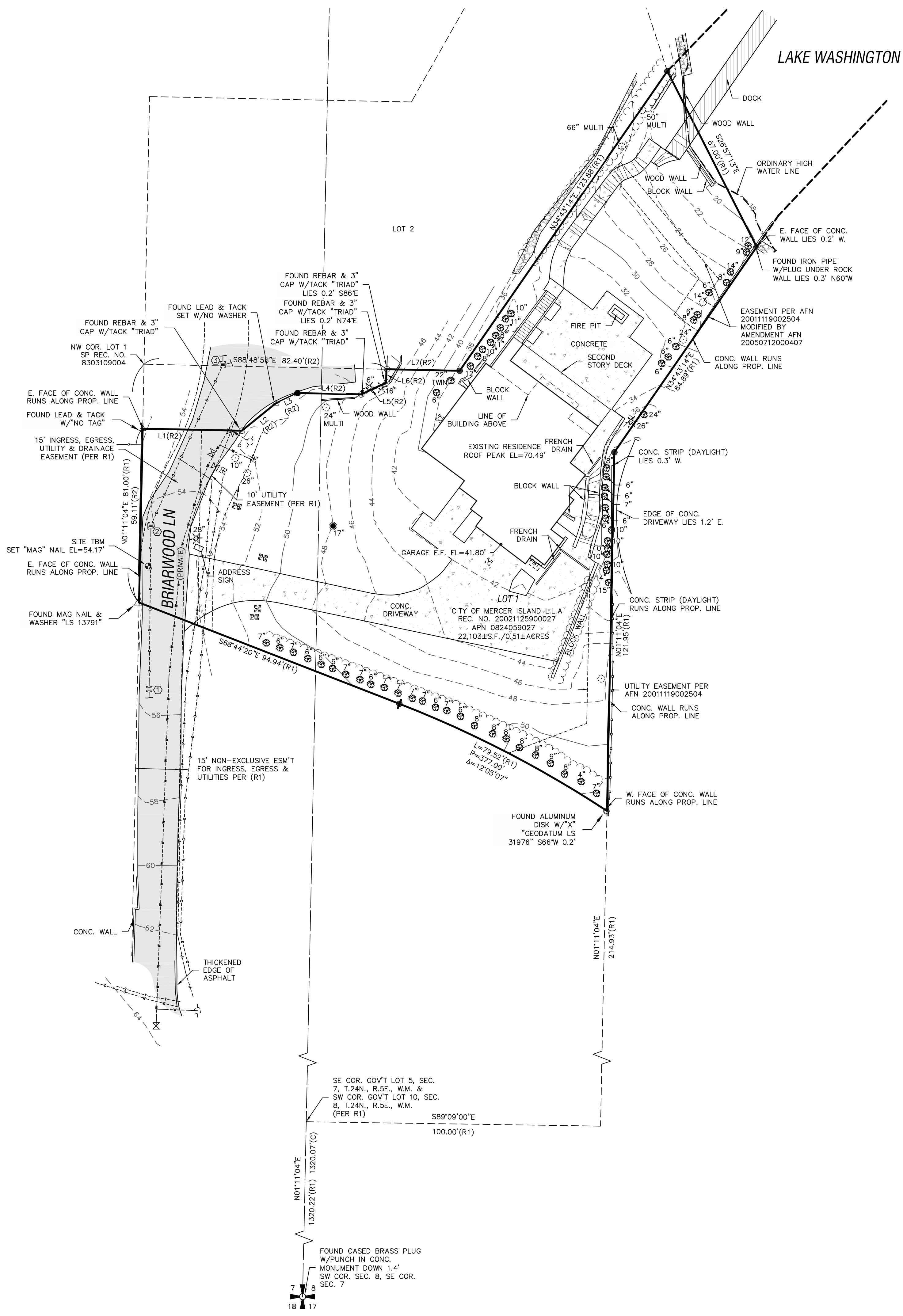
## SCHEDULE B

(PER TITLE REPORT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 4202-2978598, DATED MARCH 14, 2018 AT 7:30 AM)

- EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN: RECORDED: MAY 05, 1931 RECORDING INFORMATION: 2670081 IN FAVOR OF: PUGET SOUND POWER & LIGHT COMPANY FOR: ELECTRIC TRANSMISSION LINE SURVEYOR'S NOTE: PORTION OF EASEMENT LOCATED OVER SUBJECT PARCEL ABANDONED AND RELEASED BY PARTIAL RELEASE OF EASEMENT RECORDING NUMBER 9906100311, RECORDS OF KING COUNTY RECORDER'S OFFICE.
- EASEMENT, INCLUDING TERMS AND CONDITIONS CONTAINED THEREIN: GRANTED TO: MERCER ISLAND SEWER DISTRICT FOR: SEWER PIPELINE OR LINES AND ALL NECESSARY CONNECTIONS AND APPURTENANCES HERETO RECORDED: JULY 09, 1989 RECORDING INFORMATION: 5179425 AND 5179426 SURVEYOR'S NOTE: THESE ITEMS AFFECT THE PROPERTY, EASEMENT LIES FIVE FEET ON EACH SIDE OF THE SEWER LINE AS CONSTRUCTED, NOT SHOWN ON MAP.
- ANY AND ALL OFFERS OF DEDICATION, CONDITIONS, RESTRICTIONS, EASEMENTS, BOUNDARY DISCREPANCIES OR ENCROACHMENTS, NOTES AND/OR PROVISIONS SHOWN OR DISCLOSED BY WOODSON SHORT SUBDIVISION FILE NO. M-82-11-26 RECORDED UNDER RECORDING NUMBER 8303109004.
- SIDE SEWER EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN: LOCATION: ALONG THE LINE AS CONSTRUCTED WIDTH: UNDISCLOSED RECORDING NO.: #40480412 SURVEYOR'S NOTE: DOCUMENT PERTAINS TO THE MAINTENANCE OF SEWER FACILITIES LOCATED IN SEWER EASEMENT SHOWN ON MERCER ISLAND SHORT SUBDIVISION RECORDING NUMBER 198303109004, NOT SHOWN ON MAP.
- EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN: RECORDED: MAY 04, 1984 RECORDING INFORMATION: 840504140 IN FAVOR OF: PUGET SOUND POWER AND LIGHT COMPANY, A WASHINGTON CORPORATION FOR: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM SURVEYOR'S NOTE: THIS ITEM AFFECTS THE PARCEL EASEMENT LIES FIVE FEET ON EACH SIDE OF THE UNDERGROUND POWER LINES AS CONSTRUCTED WITHIN THE WEST 20.00 FEET OF THE PARCEL, NOT SHOWN ON MAP.
- GRANT AND AGREEMENT OF UNDERGROUND UTILITY EASEMENT AND THE TERMS AND CONDITIONS THEREOF: BETWEEN: RALPH E. SEIGEL AND ALICIA A. SEIGEL, HUSBAND AND WIFE AND: JAMES K. LEE AND MIMI D. LEE, HUSBAND AND WIFE RECORDING INFORMATION: 2001119002504 MODIFICATION AND/OR AMENDMENT BY INSTRUMENT: RECORDED: JULY 12, 2005 RECORDING INFORMATION: 20050712000407 SURVEYOR'S NOTE: EASEMENTS SHOWN ON MAP.
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "RELINQUISHMENT AND SURRENDER OF EASEMENT RIGHTS AND INTERESTS" RECORDED: NOVEMBER 25, 2002 RECORDING NO.: 20021125900027 SURVEYOR'S NOTE: THIS DOCUMENT RELINQUISHES A PORTION OF THE INGRESS, EGRESS, UTILITIES AND DRAINAGE EASEMENT SHOWN OVER THE EASTERLY PORTION OF LOT 1 OF CITY OF MERCER ISLAND SHORT PLAT, RECORDING NUMBER 198303109004.

## SURVEYOR'S NOTES

- THE PURPOSE OF THIS SURVEY IS TO DETERMINE THE LOCATION OF THE BOUNDARIES AND PROVIDE TOPOGRAPHIC INFORMATION OF THE PARCEL AS DESCRIBED HEREON.
- THIS SURVEY WAS MADE BY FIELD TRAVERSE USING A LEICA 1203 3" ROBOTIC TOTAL STATION AND DS14RTK GPS WITH RESULTING CLOSURES EXCEEDING THE MINIMUM ACCURACY STANDARDS AS SET FORTH BY WAC 332-130.
- THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.
- THE LEGAL DESCRIPTION IS PER RECORDS OF KING COUNTY RECORDER'S OFFICE, RECORDING NO. 20190419000135, DATED APRIL 19, 2019. A TITLE REPORT HAS NOT BEEN PROVIDED AT THIS TIME. THEREFORE NO INVESTIGATION WAS DONE PERTAINING TO EXISTING ENCUMBRANCES RELATING TO THE SUBJECT PARCEL SHOWN AND DESCRIBED HEREON.
- FIELD WORK FOR THIS PROJECT WAS PERFORMED IN MARCH, 2020 AND IS THEREFORE A REFLECTION OF THE CONDITIONS AT THAT TIME. ALL MONUMENTS WERE VISITED OR SET IN MARCH, 2020. THIS SITE CONTAINS IMPROVEMENTS NOT LOCATED OR SHOWN AS A PART OF THIS SURVEY.
- THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD.



## HORIZONTAL DATUM

NAD 1983(2011); PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN). UNITS OF MEASUREMENT ARE U.S. SURVEY FEET.

## VERTICAL DATUM

NAVD 1988 PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN). UNITS OF MEASUREMENT ARE U.S. SURVEY FEET.

## REFERENCE SURVEYS

- CITY OF MERCER ISLAND SHORT PLAT, RECORDING NO. 8303109004
- CITY OF MERCER ISLAND LOT LINE ADJUSTMENT, RECORDING NO. 20021125900027

RECORDS OF KING COUNTY RECORDER'S OFFICE

## LEGEND

- ✦ FOUND SECTION CORNER (AS SHOWN)
- SET REBAR & CAP EMW LS #44651
- FOUND REBAR & CAP "TRIAD"
- △ FOUND LEAD W/TACK
- ⊙ FOUND IRON PIPE (AS SHOWN)
- ⊕ SET "MAG" NAIL SITE TEMPORARY BENCHMARK (TBM)
- ⊙ GUARD POST
- ⊙ GAS METER
- ⊙ POWER METER
- ⊙ POWER PULL BOX
- ⊙ STORM DRAIN CATCH BASIN
- ⊙ YARD DRAIN
- ⊙ SEWER MANHOLE
- ⊙ IRRIGATION CONTROL BOX
- ⊙ FIRE HYDRANT
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ DECIDUOUS TREE
- ⊙ CEDAR TREE
- ⊙ EVERGREEN TREE
- (R) DISTANCE PER REFERENCE
- (L) DISTANCE AS CALCULATED
- LS LICENSED LAND SURVEYOR
- ASPHALT SURFACE
- CONCRETE SURFACE
- ROCKERY

## LINE TYPE LEGEND

- WOOD FENCE
- GAS LINE
- STORM DRAIN LINE
- EDGE OF VEGETATION
- POWER LINE
- WATER LINE
- ORDINARY HIGH WATER LINE

## STORM DRAIN STRUCTURE TABLE

- CATCH BASIN  
RIM EL=55.39'  
(W) 10" DI I.E.=51.19'  
(N) 10" DI I.E.=50.99'
- CATCH BASIN  
RIM EL=53.94'  
(S) 10" DI I.E.=49.79'  
(N) 10" DI I.E.=49.59'
- CATCH BASIN  
RIM EL=52.99'  
(N) 12" DI I.E.=48.74'  
(S) 10" DI I.E.=48.99'  
(E) 8" DI I.E.=48.99'

## LINE TABLE

| LINE | BEARING     | DISTANCE |
|------|-------------|----------|
| 1    | S89°49'00"E | 103.35   |
| 2    | S51°11'48"W | 14.70    |
| 3    | S64°21'02"W | 8.31     |
| 4    | N88°49'28"W | 21.64    |
| 5    | S64°49'53"W | 9.36     |
| 6    | S01°10'32"W | 4.54     |
| 7    | S88°48'56"E | 124.90   |

NOTE:  
THE EXISTING UTILITIES AS SHOWN ARE ONLY APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SIZE, TYPE, LOCATION, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION AND INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES.  
Call Before You Dig  
1-800-424-5555

SHT. 1 OF 1

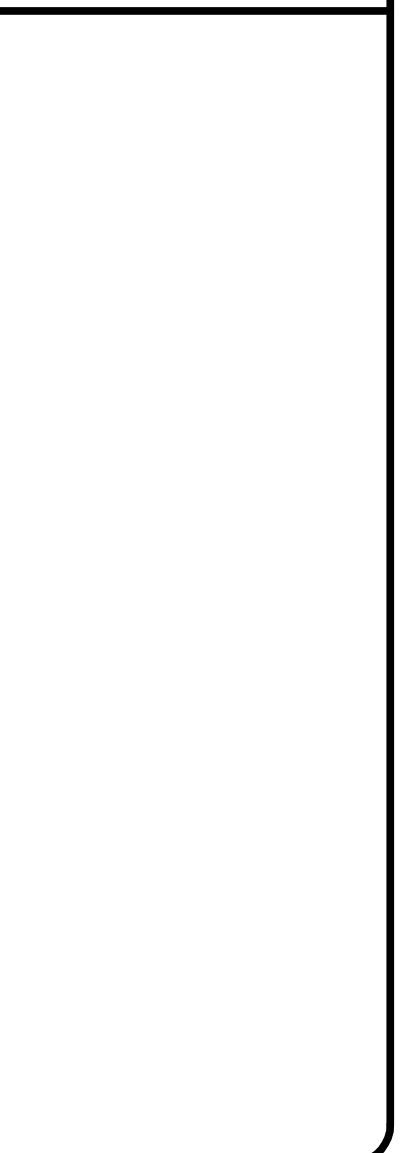
A PORTION OF THE NW 1/4 OF SECTION 8, TOWNSHIP 24N, RANGE 5E, W.M. & NE 1/4 OF THE SE 1/4 OF SECTION 7, TOWNSHIP 24N, RANGE 5E, W.M.  
FOR: MARY CHEN  
MERCER ISLAND, KING COUNTY, WA

TOPOGRAPHIC SURVEY  
CHECKED: EMW  
DATE: 9/28/2020  
JOB NO.: CEMM20024  
FIELD CREW: DF, TM  
SCALE: 1"=20'



9820 SE 35TH PL  
MERCER ISLAND, WA 98040  
TAX PARCEL NO. 0824059027

informed land survey  
P.O. Box 5137  
Tacoma, WA 98415-0137  
Phone: 252-627-2070  
adam@informedland.com  
www.informedland.com  
LAND SURVEYING - MAPPING - CONSTRUCTION LAYOUT





**City of Mercer Island  
Development Services**

9611 SE 36th Street  
Mercer Island, WA 98040  
Inspection Request Line 236-3587  
General Information 236-5300

**BUILDING PERMIT**

**SF ADD**

**Permit No. 9908-047**

**Project No.**

**Main Permit No.**

|  |  |                             |
|--|--|-----------------------------|
| Site Address: <b>9820 SE 35TH PL</b>                               | Valuation: <b>84,444.00</b>  | Parcel No. <b>824059027</b> |
| Owner: <b>SIEGEL RALPH E+ALICIA A</b>                              | Description of Work:<br><b>1110 SF ADDITION TO EXISTING HOME &amp; REMODEL</b> |                             |
| Mailing Address: <b>9820 SE 35TH PL<br/>Mercer Island WA 98040</b> |  |                             |
| Phone: <b>(206)232-1127</b>  |  |                             |

**Legal Description**

|      |        |       |
|------|--------|-------|
| Lot: | Block: | Plat: |
|------|--------|-------|

|  |   |
|--|---|
| Contractor: <b>MILLER &amp; MILLER</b> | Address:  |
| Phone: <b>(425)644-2253</b>            | State Contractor Lic: <b>MILLEMC0550L</b> MI Business Lic#: |

|                                 |           |                          |           |
|---------------------------------|-----------|--------------------------|-----------|
| Type of Const.: <b>BUILDING</b> | Occ Load: | No. Stories: <b>0.00</b> | Map Loc.: |
|---------------------------------|-----------|--------------------------|-----------|

|                  |         |                          |                       |
|------------------|---------|--------------------------|-----------------------|
| Sprinkler Req'd: | Reason: | Building SF: <b>0.00</b> | Decks SF: <b>0.00</b> |
|------------------|---------|--------------------------|-----------------------|

|                   |         |                        |           |
|-------------------|---------|------------------------|-----------|
| Fire Alarm Req'd: | Reason: | Garage SF: <b>0.00</b> | Total SF: |
|-------------------|---------|------------------------|-----------|

**Associated Permits:**

| <b>FEES</b>            | <b>Receipt # &amp; Date</b> | <b>Comments</b> |
|------------------------|-----------------------------|-----------------|
| Surcharge              | 4.50 50738 10/1/1999        |                 |
| Building Permit Fee    | 834.15 50738 10/1/1999      |                 |
| Land Clearing          | 55.00 50738 10/1/1999       |                 |
| Energy Code            | 55.00 50738 10/1/1999       |                 |
| Plan Check Deposit     | 632.29 49875 8/6/1999       |                 |
|                        | 1/1/-4713                   |                 |
|                        | 1/1/-4713                   |                 |
|                        | 1/1/-4713                   |                 |
|                        | 1/1/-4713                   |                 |
|                        | 1/1/-4713                   |                 |
|                        | 1/1/-4713                   |                 |
| <b>TOTAL FEE</b>       | <b>\$ 1,580.94</b>          |                 |
| <b>TOTAL FEES PAID</b> | <b>\$ 1,580.94</b>          |                 |
| <b>TOTAL FEES DUE</b>  | <b>\$ 0.00</b>              |                 |

Permit expires if work is not commenced within 180 days or ceases for more than 180 days. The City of Mercer Island is not responsible for reviewing the applicability of private covenants to this permit. Compliance with private plat covenants is the sole responsibility of the applicant/owner.

\_\_\_\_\_  
Signature of Owner/Contractor/Authorized Agent

\_\_\_\_\_  
Date

**FILE COPY**

**Project No.**  
**Main Permit No.**  
**Permit No. 9908-047**





**City of Mercer Island  
Development Services**

9611 SE 36th Street  
Mercer Island, WA 98040  
Inspection Request Line 236-3587  
General Information 236-5300

**BUILDING PERMIT**

**SF ADD**

**Permit No. 9908-047**

**Project No.**

**Main Permit No.**

|  |  |                             |
|--|--|-----------------------------|
| Site Address: <b>9820 SE 35TH PL</b>                               | Valuation: <b>84,444.00</b>                      | Parcel No. <b>824059027</b> |
| Owner: <b>SIEGEL RALPH E+ALICIA A</b>                              | Description of Work:<br><b>REVISION 11/15/99</b> |                             |
| Mailing Address: <b>9820 SE 35TH PL<br/>Mercer Island WA 98040</b> |  |                             |
| Phone: <b>(206)232-1127</b>  |  |                             |

**Legal Description**

|      |        |       |
|------|--------|-------|
| Lot: | Block: | Plat: |
|------|--------|-------|

|  |   |
|--|---|
| Contractor: <b>MILLER &amp; MILLER</b> | Address:  |
| Phone: <b>(425)644-2253</b>            | State Contractor Lic: <b>MILLEMC0550L</b> MI Business Lic#: |

|                                 |           |                          |                       |
|---------------------------------|-----------|--------------------------|-----------------------|
| Type of Const.: <b>BUILDING</b> | Occ Load: | No. Stories: <b>0.00</b> | Map Loc.:             |
| Sprinkler Req'd:                | Reason:   | Building SF: <b>0.00</b> | Decks SF: <b>0.00</b> |
| Fire Alarm Req'd:               | Reason:   | Garage SF: <b>0.00</b>   | Total SF:             |

**Associated Permits:**

| FEES                   |                    | Receipt # & Date |          | Comments |
|------------------------|--------------------|------------------|----------|----------|
| Surcharge              | 4.50               | 50738            | 10/1/99  |          |
| Building Permit Fee    | 834.15             | 50738            | 10/1/99  |          |
| Land Clearing          | 55.00              | 50738            | 10/1/99  |          |
| Energy Code            | 55.00              | 50738            | 10/1/99  |          |
| Plan Check Deposit     | 632.29             | 49875            | 8/6/99   |          |
| Bldg. Revision Fee     | 47.00              | 51430            | 11/15/99 |          |
| Bldg. Revision Fee     | 150.00             | 51814            | 12/8/99  |          |
| <b>TOTAL FEE</b>       | <b>\$ 1,777.94</b> |                  |          |          |
| <b>TOTAL FEES PAID</b> | <b>\$ 1,777.94</b> |                  |          |          |
| <b>TOTAL FEES DUE</b>  | <b>\$ 0.00</b>     |                  |          |          |

Permit expires if work is not commenced within 180 days or ceases for more than 180 days. The City of Mercer Island is not responsible for reviewing the applicability of private covenants to this permit. Compliance with private plat covenants is the sole responsibility of the applicant/owner.

  
Signature of Owner/Contractor/Authorized Agent

12-8-99  
Date

**FILE COPY**

**Project No.**  
**Main Permit No.**  
**Permit No. 9908-047**



**EASEMENTS:**

1. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE: PUGET SOUND POWER & LIGHT COMPANY  
 PURPOSE: ELECTRIC TRANSMISSION LINE  
 AREA AFFECTED: THE EAST 10 FEET OF THE WEST 100 FEET OF GOVERNMENT LOT 10, SECTION 8, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M. MAY 5, 1931  
 RECORDED: MAY 5, 1931  
 RECORDING NUMBER: 2670081

EASEMENT ABANDONED  
 RECORDING # 8803109004  
6-3-99

2. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE: MERCER ISLAND SEWER DISTRICT  
 PURPOSE: SEWER PIPELINE OR LINES AND ALL NECESSARY CONNECTIONS AND APPURTENANCES HERETO  
 AREA AFFECTED: AS CONSTRUCTED OVER SECOND CLASS SHORELANDS ADJOINING THAT PORTION OF SAID PREMISES LYING IN GOVERNMENT LOT 10  
 RECORDED: JULY 8, 1960  
 RECORDING NUMBER: 5179425

3. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:

GRANTEE: PUGET SOUND POWER & LIGHT COMPANY  
 PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM  
 AREA AFFECTED: A 10 FOOT STRIP WITHIN THE WEST 20 FEET OF LOT 1  
 RECORDED: MAY 4, 1984  
 RECORDING NUMBER: 8405041140

4. EASEMENT PROVISIONS AND THE TERMS AND CONDITIONS THEREOF CONTAINED IN MERCER ISLAND SHORT PLAT NUMBER 82-11-26 UNDER RECORDING NUMBER 8303109004:

PURPOSE: INGRESS AND EGRESS, UTILITIES AND DRAINAGE  
 AREA AFFECTED: 15 FEET WIDE AS DELINEATED ON SAID SHORT PLAT (NOT PLOTTABLE)

5. EASEMENT PROVISIONS AND THE TERMS AND CONDITIONS THEREOF CONTAINED IN MERCER ISLAND SHORT PLAT NUMBER 82-11-26 UNDER RECORDING NUMBER 8303109004:

PURPOSE: UTILITIES  
 AREA AFFECTED: 10 FEET WIDE LYING SOUTHERLY AND EASTERLY OF THE 15 FOOT WIDE EASEMENT EASEMENT

6. EASEMENT PROVISIONS AND THE TERMS AND CONDITIONS THEREOF CONTAINED IN MERCER ISLAND SHORT PLAT NUMBER 82-11-26 UNDER RECORDING NUMBER 8303109004:

PURPOSE: UTILITIES  
 AREA AFFECTED: 10 FEET WIDE LYING SOUTHERLY AND EASTERLY OF THE 15 FOOT WIDE EASEMENT EASEMENT

**UNDERGROUND UTILITIES:**  
 Locate all utilities prior to any excavation. Do not build over the side sewer.

**SEPARATE PERMIT REQUIRED FOR:**

- Side Sewer
- Water Meter
- Street Use
- Rockery/Retaining Wall
- Grading
- Other

**LEGAL DESCRIPTION:**

LOT 1, CITY OF MERCER ISLAND SHORT PLAT NUMBER 82-11-26, RECORDED UNDER RECORDING NUMBER 8303109004, IN KING COUNTY, WASHINGTON, SAID SHORT PLAT DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 5, SECTION 7, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON; THENCE WEST ALONG THE SOUTH LINE OF LOT 5, 60.44 FEET; THENCE NORTH PARALLEL WITH THE EAST LINE OF SAID LOT 5 TO THE GOVERNMENT MEANDER LINE ON THE SHORE OF LAKE WASHINGTON; THENCE ALONG SAID MEANDER LINE IN AN EASTERLY DIRECTION TO THE POINT OF INTERSECTION WITH THE EAST LINE OF SAID LOT 5; THENCE SOUTH ALONG THE EAST LINE OF SAID LOT 5 TO THE POINT OF BEGINNING; TOGETHER WITH SECOND CLASS SHORE LANDS ADJOINING;

AND THAT PORTION OF GOVERNMENT LOT 10, SECTION 8, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON AND OF THE SHORE LANDS APPURTENANT THERETO LYING WESTERLY AND NORTHWESTERLY OF THE FOLLOWING DESCRIBED LINE:

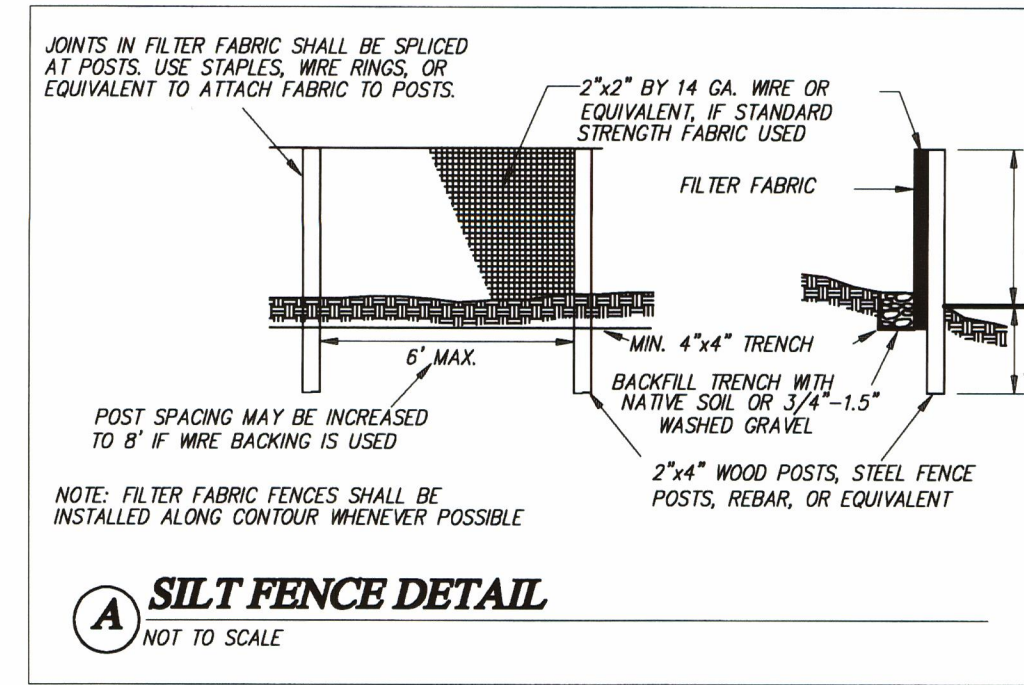
BEGINNING AT AN IRON PIPE ON THE SOUTH LINE OF SAID GOVERNMENT LOT 10, A DISTANCE 45°05' EAST 100.00 FEET FROM THE SOUTHWEST CORNER OF SAID GOVERNMENT LOT; \* NORTH 89°05'09" EAST PARALLEL WITH THE WEST LINE OF SAID LOT AND \* AND RUNNING THENCE NORTH 0°37'19" \* 100.00 FEET DISTANCE THEREFROM 336.88 FEET TO AN IRON PIPE; THENCE NORTH 33°13'16" EAST AT RIGHT ANGLES TO THE \* EAST 97.89 FEET TO AN IRON PIPE; THENCE NORTH 42° MEANDER LINE IN SAID LOT TO THE OUTER BOUNDARY OF THE LAKE WASHINGTON SHORE LAND; EXCEPT THAT PORTION THEREOF LYING SOUTHERLY OF THE PROPOSED NORTHERLY RIGHT OF WAY LINE OF RELOCATED NORTH MERCER WAY, SAID LINE BEING 35 FEET NORTHERLY WHEN MEASURED AT RIGHT ANGLES AND/OR RADIALLY FROM THE SURVEY LINE OF RELOCATED NORTH MERCER WAY OF PRIMARY STATE HIGHWAY NUMBER 2 (SR90), WEST SHORE OF RELOCATED NORTH MERCER WAY TO EAST CHANNEL BRIDGE, SAID PROPOSED NORTHERLY RIGHT OF WAY LINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID GOVERNMENT LOT 5; THENCE WESTERLY 05°09" \* ALONG THE SOUTH LINE OF LOT 5 FOR A DISTANCE OF 60.44 FEET; THENCE NORTH 0° EAST PARALLEL WITH THE EAST LINE OF SAID LOT 5 FOR A DISTANCE OF 470.00 FEET, MORE OR LESS, TO AN INTERSECTION WITH THE WESTERLY EXTENSION OF A LINE OF CONCRETE MONUMENTS AS ESTABLISHED BY JONES, BASSI & ASSOCIATES, ENGINEERS AND SURVEYORS, 08°28' EAST AND SAID MONUMENT \* THE BEARING OF SAID MONUMENT LINE BEING NORTH 63° 08'28" EAST 41 FEET DISTANT, MORE OR LESS, AND NORTH 63° \* BEING LOCATED NORTH 63° 08'28" EAST 142 FEET DISTANT, MORE OR LESS, ALONG SAID MONUMENT LINE FROM SAID 05°09' WEST 185.51 FEET TO AN INTERSECTION WITH SAID \* INTERSECTION; THENCE SOUTH 0° 47'07" EAST ALONG SAID \* PROPOSED NORTHERLY RIGHT OF WAY LINE; THENCE SOUTH 69° PROPOSED NORTHERLY RIGHT OF WAY LINE 84.94 FEET TO A POINT OF CURVATURE TO THE RIGHT; THENCE ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 377 FEET TO AN INTERSECTION WITH THE EASTERLY LINE OF THE FOREGOING DESCRIBED TRACT;

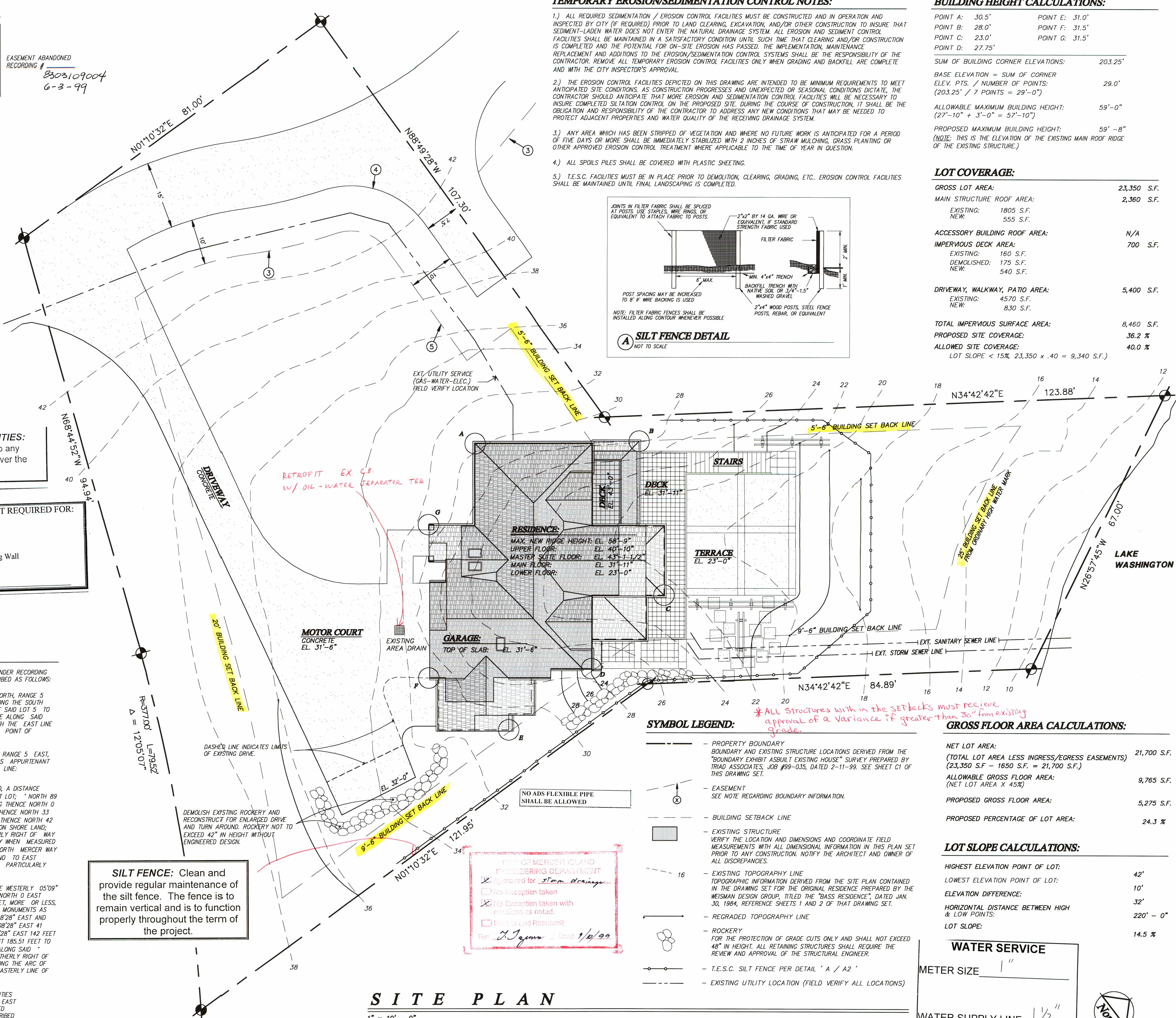
TOGETHER WITH AN NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND UTILITIES OVER AND ACROSS AND UNDER THAT PORTION OF THE WEST 15 FEET OF THE EAST 60.44 FEET OF SAID GOVERNMENT LOT 5, LYING SOUTHERLY OF SAID PROPOSED NORTHERLY RIGHT OF WAY LINE OF RELOCATED NORTH MERCER WAY AS DESCRIBED ABOVE.

**TEMPORARY EROSION/SEDIMENTATION CONTROL NOTES:**

- 1.) ALL REQUIRED SEDIMENTATION / EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION AND INSPECTED BY CITY (IF REQUIRED) PRIOR TO LAND CLEARING, EXCAVATION, AND/OR OTHER CONSTRUCTION TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. ALL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT AND ADDITIONS TO THE EROSION/SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REMOVE ALL TEMPORARY EROSION CONTROL FACILITIES ONLY WHEN GRADING AND BACKFILL ARE COMPLETE AND WITH THE CITY INSPECTOR'S APPROVAL.
- 2.) THE EROSION CONTROL FACILITIES DEPICTED ON THIS DRAWING ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, THE CONTRACTOR SHOULD ANTICIPATE THAT MORE EROSION AND SEDIMENTATION CONTROL FACILITIES WILL BE NECESSARY TO INSURE COMPLETED SILTATION CONTROL ON THE PROPOSED SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES AND WATER QUALITY OF THE RECEIVING DRAINAGE SYSTEM.
- 3.) ANY AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FUTURE WORK IS ANTICIPATED FOR A PERIOD OF FIVE DAYS OR MORE SHALL BE IMMEDIATELY STABILIZED WITH 2 INCHES OF STRAW MULCHING, GRASS PLANTING OR OTHER APPROVED EROSION CONTROL TREATMENT WHERE APPLICABLE TO THE TIME OF YEAR IN QUESTION.
- 4.) ALL SPOILS PILES SHALL BE COVERED WITH PLASTIC SHEETING.
- 5.) T.E.S.C. FACILITIES MUST BE IN PLACE PRIOR TO DEMOLITION, CLEARING, GRADING, ETC. EROSION CONTROL FACILITIES SHALL BE MAINTAINED UNTIL FINAL LANDSCAPING IS COMPLETED.



**SILT FENCE DETAIL**  
 NOT TO SCALE



**SYMBOL LEGEND:**

- PROPERTY BOUNDARY
- BOUNDARY AND EXISTING STRUCTURE LOCATIONS DERIVED FROM THE "BOUNDARY EXHIBIT ASBUILT EXISTING HOUSE" SURVEY PREPARED BY TRAD ASSOCIATES, JOB #99-035, DATED 2-11-99. SEE SHEET C1 OF THIS DRAWING SET.
- EASEMENT
- SEE NOTE REGARDING BOUNDARY INFORMATION.
- BUILDING SETBACK LINE
- EXISTING STRUCTURE
- VERIFY THE LOCATION AND DIMENSIONS AND COORDINATE FIELD MEASUREMENTS WITH ALL DIMENSIONAL INFORMATION IN THIS PLAN SET PRIOR TO ANY CONSTRUCTION. NOTIFY THE ARCHITECT AND OWNER OF ALL DISCREPANCIES.
- EXISTING TOPOGRAPHY LINE
- TOPOGRAPHIC INFORMATION DERIVED FROM THE SITE PLAN CONTAINED IN THE DRAWING SET FOR THE ORIGINAL RESIDENCE PREPARED BY THE WEISMAN DESIGN GROUP, TITLED THE "BASS RESIDENCE", DATED JAN. 30, 1984, REFERENCE SHEETS 1 AND 2 OF THAT DRAWING SET.
- REGRADED TOPOGRAPHY LINE
- ROCKERY
- FOR THE PROTECTION OF GRADE CUTS ONLY AND SHALL NOT EXCEED 48" IN HEIGHT. ALL RETAINING STRUCTURES SHALL REQUIRE THE REVIEW AND APPROVAL OF THE STRUCTURAL ENGINEER.
- T.E.S.C. SILT FENCE PER DETAIL 'A / A2'
- EXISTING UTILITY LOCATION (FIELD VERIFY ALL LOCATIONS)

FROM MERCER ISLAND ENGINEERING DEPARTMENT  
 Approved for storm drainage  
 No description taken  
 No exception taken with revisions as noted.  
 Plans and Resubmit  
 By: *[Signature]* Date: 1/4/99

**SILT FENCE:** Clean and provide regular maintenance of the silt fence. The fence is to remain vertical and is to function properly throughout the term of the project.

NO ADS FLEXIBLE PIPE SHALL BE ALLOWED

DASHED LINE INDICATES LIMITS OF EXISTING DRIVE.

DEMOLISH EXISTING ROCKERY AND RECONSTRUCT FOR ENLARGED DRIVE AND TURN AROUND. ROCKERY NOT TO EXCEED 42" IN HEIGHT WITHOUT ENGINEERED DESIGN.

\* ALL structures within the setbacks must receive approval of a Variance if greater than 30" from existing grade.

**GROSS FLOOR AREA CALCULATIONS:**

|  |             |
|--|-------------|
| NET LOT AREA:<br>(TOTAL LOT AREA LESS INGRESS/EGRESS EASEMENTS)<br>(23,350 S.F. - 1650 S.F. = 21,700 S.F.) | 21,700 S.F. |
| ALLOWABLE GROSS FLOOR AREA:<br>(NET LOT AREA X 45%)  | 9,765 S.F.  |
| PROPOSED GROSS FLOOR AREA:   | 5,275 S.F.  |
| PROPOSED PERCENTAGE OF LOT AREA:   | 24.3 %      |

**LOT SLOPE CALCULATIONS:**

|  |           |
|--|-----------|
| HIGHEST ELEVATION POINT OF LOT:                | 42'       |
| LOWEST ELEVATION POINT OF LOT:                 | 10'       |
| ELEVATION DIFFERENCE:                          | 32'       |
| HORIZONTAL DISTANCE BETWEEN HIGH & LOW POINTS: | 220' - 0" |
| LOT SLOPE:                                     | 14.5 %    |

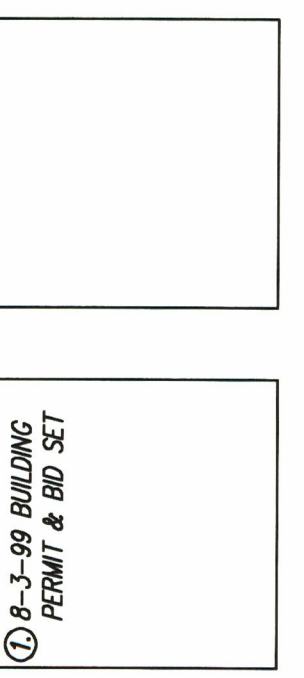
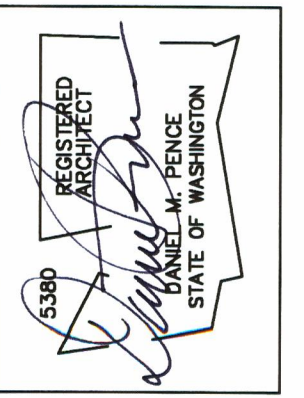
**WATER SERVICE**

METER SIZE 1"  
 WATER SUPPLY LINE 1 1/2"

Check existing in field  
 Possible Upsize needed

**S I T E P L A N**

1" = 10' - 0"



**The Pence Associates**  
 ARCHITECTS  
 2208 25th Street S.E.  
 Everett, Washington 98201  
 Phone (206) 915-4882 Fax (425) 846-9467

**Siegel Residence**  
 Mercer Island, Washington

**Site Plan**

August 3, 1999

**A-2**